

ACTIVITY DETERMINATION

Project No. BGYPW

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive Officer, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive Officer, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....
Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation...

Dated..... 20 December 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

52-56

Street or property name

Pank Parade

Suburb, town or locality

Blacktown, NSW

Postcode

2148

Local Government Area(s)

Blacktown

Real property description (Lot and DP)

Lots 41, 42 & 43 DP 32163

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 3 existing dwellings and structures, and the construction of 12 independent living seniors housing units comprising 6 x 1 bedroom and 6 x 2 bedroom units, with associated landscaping and fencing, surface parking for 6 cars, and consolidation into a single lot.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated..... 20 December 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

Recommended Identified Requirements

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following identified requirements are to ensure that the **seniors housing** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

| Title / Name: | Drawing No. / Document Ref | Revision / Issue: | Date [dd.mm.yyyy]: | Prepared by: |
|---|----------------------------|-------------------|--------------------|--------------|
| Architectural | | | | |
| Cover Sheet | AR-0000 | P | 16.11.2023 | MODE Design |
| Legends/Notes | AR-0001 | M | 16.11.2023 | MODE Design |
| 3D View & Development Data Table | AR-0002 | R | 16.11.2023 | MODE Design |
| 3D Views | AR-0003 | L | 16.11.2023 | MODE Design |
| Site Analysis | AR-0004 | H | 16.11.2023 | MODE Design |
| Block Analysis Plan | AR-0005 | H | 16.11.2023 | MODE Design |
| Site Plan | AR-0100 | O | 16.11.2023 | MODE Design |
| Demolition Plan | AR-0500 | L | 16.11.2023 | MODE Design |
| General Arrangement Plan – Ground Level | AR-1000 | S | 16.11.2023 | MODE Design |
| General Arrangement Plan –First Level | AR-1001 | Q | 16.11.2023 | MODE Design |
| General Arrangement Plan – Roof | AR-1002 | N | 16.11.2023 | MODE Design |
| Elevations | AR-2000 | N | 16.11.2023 | MODE Design |
| Sections | AR-2100 | M | 16.11.2023 | MODE Design |
| Door & Window Schedules | AR-4100 | M | 16.11.2023 | MODE Design |
| Photomontage – Sheet 1 | AR-8000 | G | 16.11.2023 | MODE Design |
| Photomontage – Sheet 2 | AR-8001 | G | 16.11.2023 | MODE Design |
| Solar Analysis | AR-8100 | N | 16.11.2023 | MODE Design |

| | | | | |
|---|--------------|-------|------------|-----------------------------|
| Solar Study – Sheet 1 | AR-8200 | I | 16.11.2023 | MODE Design |
| Solar Study – Sheet 2 | AR-8201 | I | 16.11.2023 | MODE Design |
| Landscape | | | | |
| Cover Sheet | LD-0000 | C | 09.11.2023 | MODE Design |
| Landscape Plan | LD-1000 | I | 22.11.2023 | MODE Design |
| Planting Plan | LD-1100 | D | 22.11.2023 | MODE Design |
| Landscape Details 1 | LD-5001 | B | 09.11.2023 | MODE Design |
| Landscape Details 2 | LD-5002 | B | 09.11.2023 | MODE Design |
| Landscape Details 3 | LD-5003 | A | 09.11.2023 | MODE Design |
| Civil Plans | | | | |
| General Notes | C11.1 | P3 | 11.11.2022 | Engineering Studio |
| Sediment & Erosion Control Plan | C11.01 | P3 | 11.11.2022 | Engineering Studio |
| Stormwater Drainage Plan | C12.01 | P3 | 11.11.2022 | Engineering Studio |
| Stormwater Details Sheet | C12.02 | P3 | 11.11.2022 | Engineering Studio |
| Proposed Design Levels | C12.03 | P3 | 11.11.2022 | Engineering Studio |
| Structural | | | | |
| Ground Floor Plan | SK01 | 3 | 18.11.2022 | MODE Design |
| First Floor Plan | SK02 | 3 | 18.11.2022 | MODE Design |
| Roof – Plan | SK03 | 3 | 18.11.2022 | MODE Design |
| Survey Plan | | | | |
| Detail and Level Survey | 3404/22 | - | 24.02.2022 | S.J Surveying Services |
| Footpath Gradient | 3404/22 | - | 24.02.2022 | S.J Surveying Services |
| Notification Plans | | | | |
| Notification – Cover Page | AR-N01 | F | 13.06.2023 | MODE Design |
| Notification – Site/Landscape Plan | AR-N02 | F | 13.06.2023 | MODE Design |
| Notification – Development Data | AR-N03 | F | 13.06.2023 | MODE Design |
| Notification – Elevations | AR-N04 | F | 13.06.2023 | MODE Design |
| Notification – Schedule of Finishes | AR-N05 | F | 13.06.2023 | MODE Design |
| Notification – Shadow Diagrams | AR-N06 | F | 13.06.2023 | Mode Design |
| BASIX Certificate | 1340953M | - | 20.11.2023 | Green Star Energy Solutions |
| NatHERS Certificate | 0006180033 | - | 20.11.2023 | Green Star Energy Solutions |
| Specialist Reports | | | | |
| Access Report | 10361DA | 2 | 16.11.2022 | Purely Access |
| Arboricultural Impact Assessment and Tree Management Plan | 7718 | - | 22.10.2022 | Redgum Horticultural |
| BCA Statutory Compliance Report | J4346 | Final | 21.11.2022 | DPC |
| Geotechnical Investigation | 22/0697 | - | March 2022 | STS Geotechnics |
| Waste Management Plan | 22317 | - | June 2023 | Dickens Solutions |
| Traffic Impact Statement | 22.037r01v02 | - | 21.11.2022 | Traffix |

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.

4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the Blacktown City Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing and layback shall be provided at the entrance / exit to the property. The crossing and layback shall be constructed in accordance with Blacktown City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback/driveway shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the Blacktown City Council's standards.

Note: It is recommended that discussions be held with the relevant authorities before construction works commence.

12. Car parking spaces and the driveway shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).

14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
- i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved Landscape Plan(s) and maintained for a period of 12 months by the building contractor. The Council for the area shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Fencing

20. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

21. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

22. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

23. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
24. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

25. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of two days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
26. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
27. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

***Note:** Any buildings constructed before 1987 is assumed to contain asbestos.*

Utilities Service Provider Notification

28. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

29. Blacktown City Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

Site Safety

30. A sign shall be erected in a prominent position on the site:
 - (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

31. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

32. Building and demolition materials shall not be stored on the footpath or roadway.

Site Facilities

33. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the Blacktown City Council or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
34. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Protection of Trees

35. Trees and other vegetation that are to be retained on site, adjoining lands, and road reserve shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment and Tree Management Plan.

Waste Management

36. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

37. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

38. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
39. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
40. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Stormwater Disposal

41. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and Blacktown City Councils drainage code.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

42. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
43. Land fill materials must satisfy the following requirements:
- i. Shall be Virgin Excavated Natural Matter (VENM);
 - ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. Shall be free of industrial waste and building debris.

Heritage

44. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area and the Department of Planning and Environment must be contacted.

45. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

Demolition

46. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
47. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
48. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
49. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
50. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
51. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
52. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
53. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
54. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

55. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

56. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

57. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

- 58. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
- 59. No fires shall be lit, or waste materials burnt, on the site.
- 60. No washing of concrete forms or trucks shall occur on the site.
- 61. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
- 62. Dust generation during demolition/ construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 63. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
- 64. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 65. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 66. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

- 67. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

68. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Council Infrastructure Damage

69. The cost of repairing any damage caused to the Blacktown City Council assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

70. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Blacktown City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Blacktown City Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

71. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of State Environmental Planning Policy (Housing) 2021.

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

72. Only the following kinds of people shall be accommodated in the approved development:
- (a) seniors or people who have a disability; or
 - (b) people who live within the same household with seniors or people who have a disability; or
 - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

- 73. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
- 74. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
- 75. A 1.2m wide concrete footpath across the site frontage, connecting to the existing footpath system in Pank Parade, shall be constructed in accordance with the Blacktown City Council specifications to provide an accessible pathway from the site to the nearest bus stops.

Note:

The responsible officer at the Blacktown City Council shall be contacted regarding council's specifications and any necessary approvals.

- 76. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

- 77. Contact must be made with Council's Open Space Policy & Tree Management Coordinator should street tree removal be required or should the development be located within the drip-line of any street trees.
- 78. Owner's consent must be obtained for removal of a dead tree within 45 McCulloch Street, Blacktown before commencing any works on the site.

Requirements Resulting from Council Comments

- 79. The bin areas to be designed to meet the requirements of 1x240L waste bin and 1x240L recycling bin per two units and as shown in the site plan.
- 80. The roofed bulky waste storage is to be provided as shown on the site plan and the collection to be managed by LAHC contractors.
- 81. The following monetary contributions under Section 7.11 of the Environmental Planning & Assessment Act 1979 must be paid prior to commencement of construction on the site.

The current indexed contributions are:

| | |
|--------------------|--------------|
| S7.11 Contribution | Amount |
| Stormwater Quality | \$17,435.00. |

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.

- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.



Decision Statement

Project No. BGYPW

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No.

52-56

Street or property name

Pank Parade

Suburb, town or locality

Blacktown NSW

Postcode

2148

Local Government Area(s)

Blacktown

Real property description (Lot and DP)

Lots 41, 42 & 43 DP 32163

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 3 existing dwellings and structures, and the construction of 12 independent living seniors housing units comprising 6 x 1 bedroom and 6 x 2 bedroom units, with associated landscaping and fencing, surface parking for 6 cars, and consolidation into a single lot.

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Blacktown City Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed seniors housing will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed seniors housing will assist LAHC in providing new, fit for purpose housing in the Blacktown local government area which will assist in addressing the existing and growing demand for accommodation in this local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and ensure legislative compliance.



Signed.....

Dated..... 20 December 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

PART 5
SENIOR HOUSING DEVELOPMENT

BLACKTOWN SENIOR HOUSING
52-56 PANK PARADE, BLACKTOWN
LOT 41, 42 & 43 IN DP 32163

Housing SEPP 2021

External works

- Units on ground floor level to be linked by an AS1428.1 compliant accessible path to the adjoining road.
- Pathway lighting to be Glare free for pedestrians and dwelling and must provide at least 20 lux at ground level.
- Letterboxes must be provided on a hard-standing area, lockable and have wheelchair circulation (1550mm diameter) and linked via an accessible path as per AS1428.1
- There should be no step to the main entry door, entry to external verandah that contain clothes line and between path from street to the verandah. A max threshold of 35mm is permitted where a threshold ramp is provided.
- A garbage storage area must be provided in an accessible location. Provide 1550mm circulation spaces in front of bins

Carparking

- Car parking to comply with AS2890.6.

Doorway requirements

- Main entry door, door to courtyards, main accessible bathroom, laundry to be 850mm clear (920mm min door leaf) with door circulation spaces as per AS1428.1. All other doors to have 850mm clear opening with scope of provision of door circulation in the future.
- Door handles and hardware for all doors must be provided in accordance with AS 4299 with single hand operation, lever style, operation located between 900-100mm above FFL and all external doors to be keyed alike.

Bedroom requirements

- Main bedroom to have size of queen bed with 1,200mm wide at the foot of the bed, and 1,000mm wide beside the bed between it and the wall, wardrobe or any other obstruction.

Electrical requirements

- Bedroom must have a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet.
- Bedroom must have wiring to allow a potential illumination level of at least 300 lux.
- Switches and power points must be provided in accordance with AS 4299 with switches located between 900-1000mm and in line with door handles, (Rocker action / toggle / push pad switches with 35mm width are preferred) and GPOs to be at least 600mm above FFL (1000mm preferred) and not less than 500mm horizontally from internal corners.
- Living room, must have a telephone adjacent to a general power outlet and Living and dining room must have wiring to allow a potential illumination level of at least 300 lux.

Laundry / Linen cupd

- Laundry must have the provision for the installation of an automatic washing machine and a clothes dryer, a slip-resistant floor surface and an accessible path to clothes line is to be provided.
- At least 1 linen cupboard is to be provided with 600mm minimum width and adjustable shelving

Main bathroom

- Bathroom must be Slip-resistant floor surface.
- Bathroom must have shower as per AS1428.1 without a hob, waterproofed to AS 3740, floor falls to waste, walls reinforced to accommodate grabrails / folding seat in the future, taps to be lever or capstan with single outlet, taps to be easily reached from shower entry, wall cabinet that is sufficiently illuminated, and a double general power outlet beside the mirror.
- All tiled areas such as bathrooms, kitchen, and laundries to be such that there is no lip at the doorway. Recess the concrete slab at wet areas if required for compliance.

Kitchen

- Kitchen fittings must be provided as per Clause 4.5 of AS 4299:
- 800mm wide work surface which is adjustable or replaceable as a unit at variable heights within range of 750mm to 850mm above FFL in between the wall oven and cooktop.
- Tap set with capstan or lever handles with the taps or operating handles to be located 300mm from front of the sink
- Cooktops with front or side controls with raised crossbars, isolating switch and a work surface of 800mm length at the same height
- Wall oven located next to adjustable height work bench minimum 820mm width.



| 52-56 PANK PARADE, BLACKTOWN 2148 | |
|---|---------------------------------------|
| This is a summary of the BASIX commitments as detailed in the BASIX certificate. Refer to current BASIX certificate for complete details. | |
| BASIX COMMITMENTS SUMMARY | |
| RESIDENTIAL UNITS | |
| WATER COMMITMENTS | |
| Fixtures | |
| All Showerheads | 4 Star |
| All Toilets Flushing Systems | 3 Star |
| All Kitchen Taps | 4 Star |
| All Bathroom Taps | 4 Star |
| HW Recirculation or Diversion? | No |
| Appliances | |
| All Dish Washers / Clothes Washers | N/A |
| Alternative Water Source | |
| Central Water Tank | Landscape, Toilet Connection ONLY |
| ENERGY COMMITMENTS | |
| Hot Water | |
| Hot Water System | Gas Instantaneous 4 Star |
| Bathroom Ventilation | |
| Each Bathroom | Individual Fan, Ducted to Facade/Roof |
| Operation Control | Manual Switch On / Off |
| Kitchen Ventilation | |
| Each Kitchen | Individual Fan, Ducted to Facade/Roof |
| Operation Control | Manual Switch On / Off |
| Laundry Ventilation | |
| Each Laundry | Individual Fan, Ducted to Facade/Roof |
| Operation Control | Manual Switch On / Off |
| Cooling & Heating | |
| Cooling | Ceiling Fans at Living & Bedrooms |
| Heating | N/A |
| Artificial Lighting | |
| Bedrooms, Living Areas, Kitchen, Bathrooms/Toilets, Laundry, Hallways | Yes |
| Natural Lighting | |
| Number of Bathrooms | 1 in Unit 01, 05, 06, 07, 11 & 12 |
| Kitchen | Yes in Unit 01, 06, 07 & 12 |
| Appliances | |
| Kitchen Cooktop/Oven | Gas Cooktop and Electric Oven |
| Well Ventilated Fridge Space | No |
| Dish Washer | N/A |
| Clothes Washer / Clothes Dryer | N/A |
| Private Outdoor or Unsheltered Clothes Drying Line | Yes |

| SHEET LIST | | |
|------------|---|------------------|
| No. | Name | Current Revision |
| 0000 | COVER SHEET | P |
| 0001 | LEGENDS / NOTES | M |
| 0002 | 3D VIEW & DEVELOPMENT DATA TABLE | R |
| 0003 | 3D VIEWS | L |
| 0004 | SITE ANALYSIS | H |
| 0005 | BLOCK ANALYSIS PLAN | M |
| 0100 | SITE PLAN | O |
| 0500 | DEMOLITION PLAN | L |
| 1000 | GENERAL ARRANGEMENT PLAN - GROUND LEVEL | S |
| 1001 | GENERAL ARRANGEMENT PLAN - FIRST LEVEL | Q |
| 1002 | GENERAL ARRANGEMENT PLAN - ROOF | N |
| 2000 | ELEVATIONS | N |
| 2100 | SECTIONS | M |
| 4100 | DOOR & WINDOW SCHEDULES | M |
| 8000 | PHOTOMONTAGE - SHEET 1 | G |
| 8001 | PHOTOMONTAGE - SHEET 2 | G |
| 8100 | SOLAR ANALYSIS | N |
| 8200 | SOLAR STUDY - SHEET 1 | I |
| 8201 | SOLAR STUDY - SHEET 2 | I |

| BASIX COMMITMENTS SUMMARY | |
|--|--|
| COMMON AREAS | |
| WATER COMMITMENTS | |
| Showerheads | No Common Facility |
| Toilets | No Common Facility |
| Taps | No Common Facility |
| Clothes Washer | No Common Facility |
| ENERGY COMMITMENTS | |
| Ventilation | |
| Common Area Ventilation | No Mechanical Ventilation |
| Lighting | |
| Primary Type of Artificial Lighting | LED |
| Lighting Efficiency Measure | Daylight Sensor and Motion Sensor |
| Light Control System /BMS | No |
| Central Systems | |
| Central Water Tank - Rainwater or Stormwater | Size: 7000 |
| Alternative Energy Supply | |
| Photovoltaic System | Rated Electrical Output (min): 3.0 peak kW |

| NatHERS COMMITMENTS SUMMARY |
|--|
| <ul style="list-style-type: none">• R4.5 insulation to ceiling• R2.5 External Wall Insulation• Roof type : Metal Roof - Medium Colour (SA 0.475 - 0.7) + 55mm Foil Blanket R1.3• External Glazing: Aluminium standard single-glazed; clear glass: U = 6.70 & SHGC = 0.70• All External door and windows to be weather sealed• Exhaust Fans / Downlights to be sealed (if any)• Eaves and Shading as per drawings |



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| AMENDMENTS | | | | |
|------------|--------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| H | DRAFT PART 5 | VL | KM | 04.11.22 |
| I | DRAFT PART 5 | VL | KM | 09.11.22 |
| J | PART 5 | VL | KM | 16.11.22 |
| K | PART 5 | VL | KM | 21.11.22 |
| L | PART 5 | BB | MW | 31.05.23 |
| M | PART 5 | BB | MW | 13.06.23 |
| N | PART 5 | BB | MW | 17.07.23 |
| O | PART 5 | BB | MW | 12.10.23 |
| P | PART 5 | BB | MW | 16.11.23 |

| | |
|---|--------------------------------|
| | Certificate Number: 0006180093 |
| <input type="checkbox"/> single-dwelling rating | 6.1 stars |
| <input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) | heating 44.1 MJ/m² |
| | cooling 36.4 MJ/m² |
| Recessed downlights confirmation: <input type="checkbox"/> Rated with <input checked="" type="checkbox"/> Rated without | |
| Assessor Name/Number: 10194 | Date: 20/11/2023 |

STATUS
PART 5

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CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
COVER SHEET

| | |
|--------------------------------|-------------------|
| DRAWN VL | CHECKED KM |
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| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-0000 | REVISION P |

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SYMBOLOLOGY

PHASING LEGEND

ABBREVIATIONS LEGEND

PERFORMANCE REQUIREMENTS

| BUILDING ELEMENTS | |
|-------------------------|--|
| DOORS AND WINDOWS | <div><div>0</div><div>0.00a /</div><div>W</div><div>0.00a</div></div> DOOR NUMBER WINDOW NUMBER |
| CEILINGS | <div><div>C:X-XX00</div><div>3600</div></div> CEILING TYPE HEIGHT ABOVE LEVEL |
| OTHER BUILDING ELEMENTS | |

| DRAFTING CONVENTIONS | |
|------------------------|--------------------------------|
| <div><div></div></div> | EXISTING TO REMAIN |
| <div><div></div></div> | EXISTING TO BE DEMOLISHED |
| <div><div></div></div> | TEMPORARY CONSTRUCTION |
| <div><div></div></div> | EXISTING FLOOR TO BE DEMOLISHD |

| DRAFTING ABBREVIATIONS | |
|------------------------|------------------------------|
| AFFL | ABOVE FINISHED FLOOR LEVEL |
| ASFL | ABOVE STRUCTURAL FLOOR LEVEL |
| COS | CHECK/ CONFIRM ON SITE |
| EQ | EQUAL |
| FFL | FINISHED FLOOR LEVEL |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| R# | RADIUS #mm |
| SFL | STRUCTURAL FLOOR LEVEL |
| TBC | TO BE CONFIRMED |
| TYP | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| Ø | DIAMETER |

| ACOUSTIC PERFORMANCE | |
|------------------------|-------------------|
| <div><div></div></div> | ACOUSTIC RATING A |
| <div><div></div></div> | ACOUSTIC RATING B |
| <div><div></div></div> | ACOUSTIC RATING C |
| <div><div></div></div> | ACOUSTIC RATING D |

| FIRE & SMOKE PERFORMANCE | |
|--------------------------|---------------|
| <div><div></div></div> | SMOKE RATING |
| <div><div></div></div> | FIRE RATING A |
| <div><div></div></div> | FIRE RATING B |
| <div><div></div></div> | FIRE RATING C |
| <div><div></div></div> | FIRE RATING D |

| | |
|----------|---------------------|
| 2.ZZ-00a | REFER CODING SYSTEM |
| MMaq01 | REFER CODING SYSTEM |

| REVISION | |
|----------|---|
| REVISION | |
| 22 | REVISION CLOUD REVISION NUMBER REVISION DESCRIPTION |

| SETOUT | |
|--------|--|
| GRID | <div><div>0</div></div> |
| LEVEL | <div><div></div></div> |
| SLOPE | <div><div>FALL</div><div>1:3</div></div> |
| STEP | <div><div>STEP</div><div>50</div></div> |

| REFERENCING | |
|---------------------------|--|
| PLAN TITLE VIEW NUMBER | <div><div>2</div><div>A202</div></div> PLAN Scale: 1 : 100 DRAWING SCALE |
| REFERENCE SHEET | |

| | |
|---|---|
| ELEVATION/ SECTION TITLE VIEW NUMBER | <div><div>2</div><div>A202</div></div> ELEVATION Scale: 1 : 100 DRAWING SCALE |
| REFERENCE SHEET | |

| | |
|------------------------------------|--|
| ELEVATION REFERENCE VIEW NUMBER | <div><div>A</div><div>A101</div></div> |
| REFERENCE SHEET | |
| ROOM ELEVATIONS | |
| VIEW NUMBER | <div><div>00</div><div>A101</div><div>00</div></div> |
| REFERENCE SHEET | |

| | |
|-----------------------------------|--|
| SECTION REFERENCES VIEW NUMBER | <div><div>A</div><div>A101</div></div> |
| REFERENCE SHEET | |

TREE LEGEND

TREES TO BE REMOVED

TREES TO BE RETAINED

STRUCTURAL ROOT ZONE (TPZ)

- REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION ZONE (TPZ)

- REFER TO ARBORIST REPORT FOR DETAILS

LEVEL LEGEND

EXISTING LEVEL EL 0.00
PROPOSED LEVEL RL 0.00

UNIT TYPE LEGEND

ONE BEDROOM UNIT
TWO BEDROOM UNIT

LANDSCAPE LEGEND

PRIVATE LANDSCAPE AREA
COS
COMMON LANDSCAPE AREA
DEEP SOIL ZONE
PARKING
DRIVEWAYS
WALKWAYS
COURTYARD / BALCONY

GENERAL LEGEND

SITE BOUNDARY
SITE SETBACK
BALCONY OVER
POS
EXISTING SYDNEY WATER MAIN
EXISTING SYDNEY WATER SEWER MAIN
BENCH

ABBREVIATION LEGEND

AC AC OUTDOOR CONDENSER
BOL BOLLARD
COM COMMS CUPBOARD
CLO CLOTHESLINE
D DOOR
W WINDOW
DP DOWNPIPE
FN COLORBOND FENCE
GAS INSTANTANEOUS GAS
GTR GUTTER
LVR EXHAUST LOUVRE
PIT STORMWATER PIT
POS PRIVATE OPEN SPACE
FIP FIRE INDICATIVE PANEL
PWR POWER CUPBOARD
MIMIC MIMIC PANEL
MP METER PANEL
MSB MAIN SWITCHBOARD

EXTERIOR FINISHES LEGEND_LEGEND

| CODE | IMAGE | DESCRIPTION | COLOUR |
|------|-------|---|-------------------------------------|
| AL | | ALUMINIUM POWDERCOATED: WINDOWS/DOORS FRAME | COLORBOND MONUMENT |
| AW | | WINDOW AWNINGS | DULUX ELECTRO GOLD PEARL |
| BR1 | | FACE BRICK | AUSTRAL BOWRAL 76 - BRAHMAN GRANITE |
| BR2 | | FACE BRICK | AUSTRAL BOWRAL 76 - BOWRAL BLUE |
| BT | | ALUMINIUM BATTEN SCREENS | DULUX ELECTRO GOLD PEARL |
| CLD | | FIBRE CEMENT CLADDING | CEMINTEL BARESTONE |
| CON | | EXPOSED CONCRETE SLAB EDGE | |
| DP | | DOWNPIPE | COLORBOND BASALT |
| FN | | COLORBOND FENCE | COLORBOND MONUMENT |
| FS1 | | FASCIA | COLORBOND SHALE GREY |
| FS2 | | FASCIA | COLORBOND BASALT |
| GL | | GLASS: WINDOWS AND DOORS | |
| GTR1 | | GUTTER | COLORBOND SHALE GREY |
| GTR2 | | GUTTER | COLORBOND BASALT |
| LVR1 | | METAL LOUVRE | COLORBOND MONUMENT |
| LVR2 | | LOUVRE ABOVE DOOR | COLORBOND MONUMENT |
| MS | | METAL ROOF SHEET | COLORBOND SHALE GREY |
| PT1 | | PAINT FINISH | COLORBOND SHALE GREY |

STATUS
PART 5

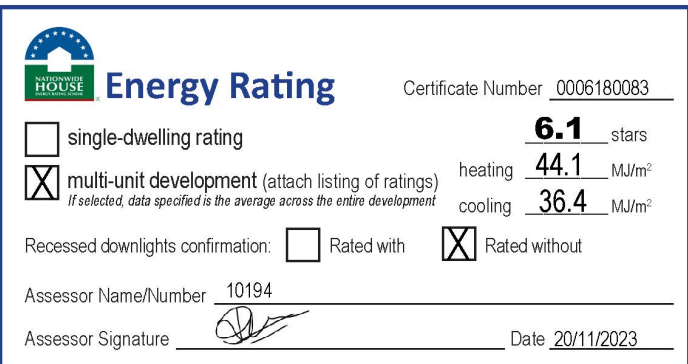
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ABN: 65 112 807 931

CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
LEGENDS / NOTES

| | |
|--------------------------------|-----------------------|
| DRAWN VL | CHECKED KM |
| ISSUE 18/11/2023 1:27:25 PM | SCALE @ A1 1 : 100 |
| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-0001 | REVISION M |



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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| J | DRAFT PART 5 | VL | KM | 02.11.22 |
| K | DRAFT PART 5 | VL | KM | 04.11.22 |
| L | DRAFT PART 5 | VL | KM | 09.11.22 |
| M | PART 5 | VL | KM | 16.11.22 |
| N | PART 5 | BB | MW | 31.05.23 |
| O | PART 5 | BB | MW | 13.06.23 |
| P | PART 5 | BB | MW | 17.07.23 |
| Q | PART 5 | BB | MW | 12.10.23 |
| R | PART 5 | BB | MW | 16.11.23 |

DEVELOPMENT DATA TABLE

| SITE AREA | | 1670.8 m² | | |
|---------------------|--|-----------|---|---|
| NUMBER OF DWELLINGS | 12 DWELLINGS - 6 x 1 BED - 6 x 2 BED | | | |
| | AUTHORITY | | REQUIRED OR ALLOWED | PROPOSED |
| FSR | LEP | | NOT ADOPTED | NOT ADOPTED |
| | HOUSING SEPP | | 0.5:1 = 835.4 m² | 0.516:1 = 862 m² |
| HEIGHT | LEP | | NOT ADOPTED | NOT ADOPTED |
| | HOUSING SEPP (CL.42) | | 9.5m | 8.4m |
| SETBACK | BLACKTOWN COUNCIL - DCP | FRONT | 6m | GROUND LEVEL: 6m BUILDING LINE FIRST LEVEL: 6m BUILDING LINE & 5m BALCONY LINE |
| | | SIDE | 3m | GROUND LEVEL: 3m BUILDING LINE FIRST LEVEL: 3m BUILDING LINE & BALCONY LINE |
| | | REAR | 6m | GROUND LEVEL: 7.1m BUILDING LINE FIRST LEVEL: 7.1m BUILDING LINE & 6.1m BALCONY LINE |
| CAR PARKING | HOUSING SEPP (CL.108) 0.2 x (NO. OF DWELLINGS) | | 2.4 SPACES | 3 SPACES |
| | HOUSING SEPP ACCESSIBLE AREA PARKING RATES: 0.4 x (NO. OF 1 BED) 0.5 x (NO. OF 2 BED) | | 0.4 x 6 (OF 1 BED) = 2.4 0.5 x 6 (OF 1 BED) = 3.0 TOTAL = 5.4 | 6 SPACES INCLUSIVE OF 3 ACCESSIBLE SPACES |
| LANDSCAPING | HOUSING SEPP (CL.108) | | 35 m² / DWELLING = 420 m² | 542 m² = 32.4% |
| DEEP SOIL | HOUSING SEPP (CL.108) | | MIN 15% OF SITE AREA = 250.62 m² MIN. DIMENSION OF 3M WITH IF PRACTICABLE, MIN 65% OF AREA AT REAR | 349 m² AT REAR = 232 m² = 66.4% |
| PRIVATE OPEN SPACE | HOUSING SEPP (CL.108) | | GROUND FLOOR DWELLINGS: NOT LESS THAN 15 m² WITH MIN 3 x 3 m SIZE ANY OTHER DWELLINGS: 1 BED = 8 m² 2 BED = 10 m² NOT LESS THAN 2m IN LENGTH AND DEPTH ACCESSIBLE FROM LIVING ROOMS | COMPLIES |
| SOLAR ACCESS | HOUSING SEPP (CL.108) | | 70% OF DWELLINGS TO HAVE ACCESS TO DIRECT SOLAR ACCESS FOR A MIN. OF 2 HOURS BETWEEN 9AM AND 3PM MID WINTER TO POS AND LIVING ROOMS | COMPLIES 10 UNITS (3HR) = 83% 11 UNITS (2HR) = 91% |

UNIT SCHEDULE

| UNIT NO. | NO. OF BEDS | AREA (m²) | PRIVATE OPEN SPACE | | SOLAR | POS |
|--------------|-------------|-----------|--------------------|------------|-----------|-----------|
| | | | AREA (m²) | SIZE | | |
| GROUND LEVEL | | | GROUND LEVEL | | | |
| UNIT 01 | 2 BEDROOM | 77 m² | 34 m² | Min 3 x 3m | YES - 3hr | YES - 3hr |
| UNIT 02 | 1 BEDROOM | 55 m² | 27 m² | Min 3 x 3m | YES - 3hr | YES - 3hr |
| UNIT 03 | 1 BEDROOM | 55 m² | 27 m² | Min 3 x 3m | YES - 3hr | YES - 3hr |
| UNIT 04 | 1 BEDROOM | 55 m² | 24 m² | Min 3 x 3m | NO | NO |
| UNIT 05 | 2 BEDROOM | 77 m² | 27 m² | Min 3 x 3m | YES - 3hr | YES - 3hr |
| UNIT 06 | 2 BEDROOM | 77 m² | 16 m² | Min 3 x 3m | YES - 2hr | YES - 2hr |
| LEVEL 01 | | | LEVEL 01 | | | |
| UNIT 07 | 2 BEDROOM | 77 m² | 12 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| UNIT 08 | 1 BEDROOM | 55 m² | 10 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| UNIT 09 | 1 BEDROOM | 55 m² | 10 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| UNIT 10 | 1 BEDROOM | 55 m² | 10 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| UNIT 11 | 2 BEDROOM | 77 m² | 12 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| UNIT 12 | 2 BEDROOM | 77 m² | 12 m² | Min 2m (D) | YES - 3hr | YES - 3hr |
| Grand total | | | 790 m² | 218 m² | | |

| | LEVEL | AREA (m²) |
|-------------|--------------|-----------|
| LOBBY | GROUND LEVEL | 16 m² |
| LOBBY | GROUND LEVEL | 20 m² |
| LOBBY | LEVEL 01 | 16 m² |
| LOBBY | LEVEL 01 | 20 m² |
| Grand total | | 72 m² |

Energy Rating

single-dwelling rating

multi-unit development (attach listing of ratings)

Recessed downlights confirmation:

Rated with

Rated without

Assessor Name/Number

10194

Assessor Signature

Date

20/11/2023

Certificate Number

0006180083

6.1 stars

heating 44.1 MJ/m²

cooling 36.4 MJ/m²

PART 5

mode

SYDNEY

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ABN: 65 112 807 931

LAHC

BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

3D VIEW & DEVELOPMENT DATA TABLE


| | |
|---------------------------------------|-------------------|
| DRAWN VL | CHECKED KM |
| ISSUE 18/11/2023 1:27:37 PM NTS | SCALE @ A1 NTS |
| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-0002 | REVISION R |

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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|-------------------------|------|-----|----------|
| D | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| E | DRAFT PART 5 | VL | KM | 02.11.22 |
| F | DRAFT PART 5 | VL | KM | 04.11.22 |
| G | DRAFT PART 5 | VL | KM | 09.11.22 |
| H | PART 5 | VL | KM | 16.11.22 |
| I | PART 5 | BB | MW | 13.06.23 |
| J | PART 5 | BB | MW | 17.07.23 |
| K | PART 5 | BB | MW | 12.10.23 |
| L | PART 5 | BB | MW | 16.11.23 |



**Energy Rating**

Certificate Number: 0026180083

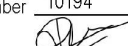
☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **6.1** stars
cooling **44.1** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number: 10194

Assessor Signature:  Date: 20/11/2023

STATUS

PART 5



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CLIENT

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PROJECT

BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE

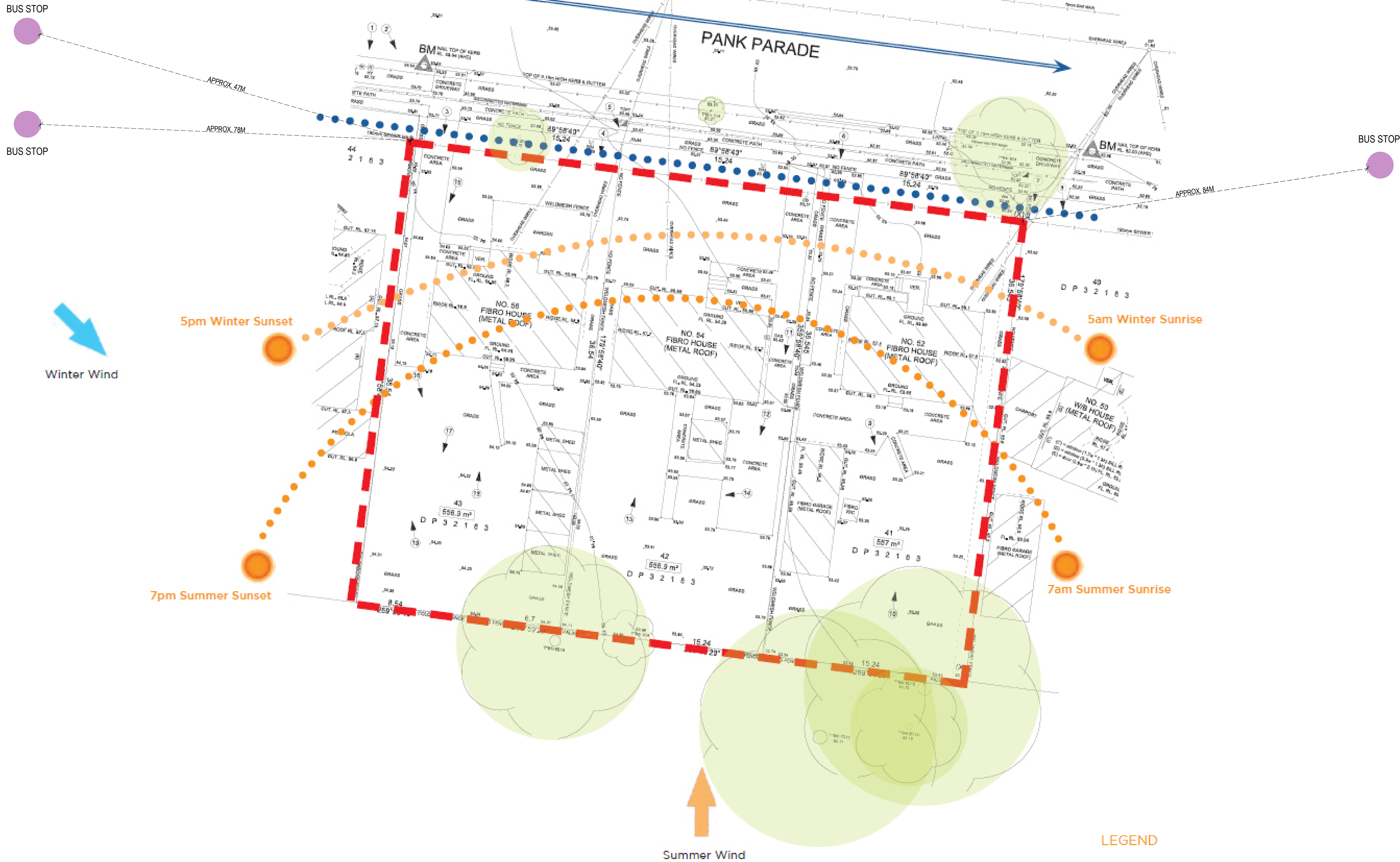
3D VIEWS

| | |
|---------------------------------------|----------------------|
| DRAWN VL | CHECKED KM |
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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| A | DRAFT PART 5 | VL | KM | 02.11.22 |
| B | DRAFT PART 5 | VL | KM | 04.11.22 |
| C | DRAFT PART 5 | VL | KM | 09.11.22 |
| D | PART 5 | VL | KM | 16.11.22 |
| E | PART 5 | BB | MW | 13.06.23 |
| F | PART 5 | BB | MW | 17.07.23 |
| G | PART 5 | BB | MW | 12.10.23 |
| H | PART 5 | BB | MW | 16.11.23 |



Energy Rating Certificate Number: 0026180083

☐ single-dwelling rating **6.1** stars

☒ multi-unit development (attach listing of ratings) heating **44.1** MJ/m² cooling **36.4** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number: 10194 Date: 20/11/2023

STATUS
PART 5

0m 1.5 3 4.5 6 7.5

NORTH

mode SYDNEY Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au
ABN: 65 112 807 931

CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163
DRAWING TITLE
SITE ANALYSIS

| | | | |
|--------------------------------|---------------|-----------------------|---------------------|
| DRAWN VL | CHECKED KM | SCALE @ A1 1:150 | SCALE @ A3 1:300 |
| ISSUE 18/11/2023 1:29:02 PM | STAGE DA | DRAWING No AR-0004 | REVISION H |
| PROJECT No 22032 | | | |



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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| A | DRAFT PART 5 | VL | KM | 02.11.22 |
| B | DRAFT PART 5 | VL | KM | 04.11.22 |
| C | DRAFT PART 5 | VL | KM | 09.11.22 |
| D | PART 5 | VL | KM | 16.11.22 |
| E | PART 5 | BB | MW | 13.06.23 |
| F | PART 5 | BB | MW | 17.07.23 |
| G | PART 5 | BB | MW | 12.10.23 |
| H | PART 5 | BB | MW | 16.11.23 |

BLOCK ANALYSIS INFORMATION

- PREDOMINANT BLOCK AND LOT PATTERNS WITH TRADITIONAL DIVISION FACING STREET WITH LITTLE/NO CHANGE EVIDENCED OVER TIME.
- THE SITE LOT SIZES ARE 557M², 556.9M² & 556.9M² ADN ARE RECTANGULAR IN SHAPE WITH FRONTAGE TO THE STREET.
- GENERALLY, LOT SIZES ARE BETWEEN 550M² AND 1020M².
- ARRANGEMENT OF NEIGHBOURING PROPERTIES MAY BE SUITABLE TO SUPPORT NEIGHBOURING FUTURE GROWTH.

--- SITE BOUNDARY

PANK PARADE

MCCULLOCH ROAD

Certificate Number 0009180083

6.1 stars

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating **44.1** MJ/m²

cooling **36.4** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194

Assessor Signature Date 20/11/2023

STATUS
PART 5

NORTH

0m 2.5 5 7.5 10 12.5

SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au

ABN: 65 112 807 931

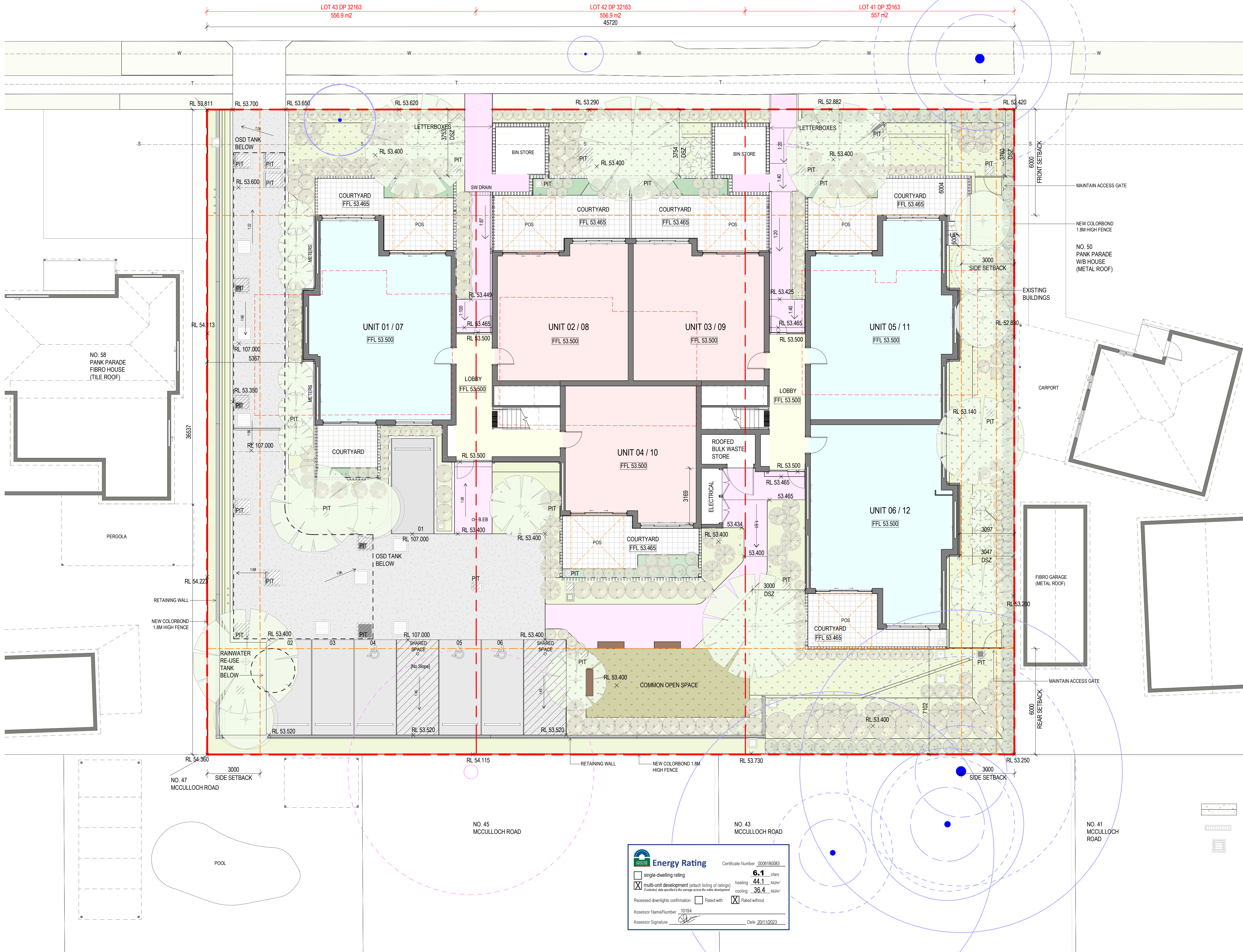
CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
BLOCK ANALYSIS PLAN

| | | | |
|--------------------------------|----------------------------|-----------------------|-----------------------|
| DRAWN VL | CHECKED KM | SCALE @ A1 1 : 250 | SCALE @ A3 1 : 500 |
| ISSUE 18/11/2023 1:29:06 PM | PROJECT No 22032 | STAGE DA | REVISION H |

PANK PARADE



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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| G | DRAFT PART 5 | VL | KM | 02.11.22 |
| H | DRAFT PART 5 | VL | KM | 04.11.22 |
| I | DRAFT PART 5 | VL | KM | 09.11.22 |
| J | PART 5 | VL | KM | 16.11.22 |
| K | PART 5 | BB | MW | 31.05.23 |
| L | PART 5 | BB | MW | 13.06.23 |
| M | PART 5 | BB | MW | 17.07.23 |
| N | PART 5 | BB | MW | 12.10.23 |
| O | PART 5 | BB | MW | 16.11.23 |

TREE LEGEND

TREES TO BE REMOVED

TREES TO BE RETAINED

STRUCTURAL ROOT ZONE (TPZ)

- REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION ZONE (TPZ)

- REFER TO ARBORIST REPORT FOR DETAILS

LEVEL LEGEND

EXISTING LEVEL EL 0.00

PROPOSED LEVEL RL 0.00

UNIT TYPE LEGEND

ONE BEDROOM UNIT

TWO BEDROOM UNIT

LANDSCAPE LEGEND

PRIVATE LANDSCAPE AREA

COS

COMMON LANDSCAPE AREA

DEEP SOIL ZONE

PARKING

DRIVEWAYS

WALKWAYS

COURTYARD / BALCONY

GENERAL LEGEND

SITE BOUNDARY

SITE SETBACK

BALCONY OVER

POS

EXISTING SYDNEY WATER MAIN

EXISTING SYDNEY WATER SEWER MAIN

BENCH

ABBREVIATION LEGEND

AC AC OUTDOOR CONDENSER

BOL BOLLARD

COM COMMS CUPBOARD

CLO CLOTHESLINE

D DOOR

W WINDOW

DP DOWNPIPE

FN COLORBOND FENCE

GAS INSTANTANEOUS GAS

GTR GUTTER

LVR EXHAUST LOUVER

PIT STORMWATER PIT

POS PRIVATE OPEN SPACE

FIP FIRE INDICATIVE PANEL

PWR POWER CPUBOARD

MIMIC MIMIC PANEL

MP METER PANEL

MSB MAIN SWITCHBOARD

STATUS

PART 5

NORTH

0m 1 2 3 4 5

mode

SYDNEY

Level 5, 111-117 Devonshire St

Surry Hills NSW 2010

T +61 2 8396 9500

syd@modedesign.com.au

ABN: 65 112 807 931

CLIENT

LAHC

PROJECT

BLACKTOWN SENIOR

HOUSING

52-56 Pank Parade, Blacktown

Lots 41, 42 & 43 DP32163

DRAWING TITLE

SITE PLAN

DRAWN

VL

ISSUE

16/11/2023 1:29:29 PM

PROJECT No

22032

STAGE

DA

CHECKED

KM

SCALE @ A1

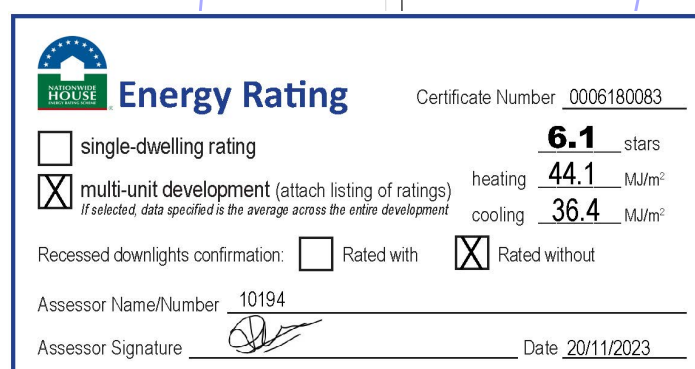
1:100

DRAWING No

AR-0100

REVISION

O



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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|-------------------------|------|-----|----------|
| D | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| E | DRAFT PART 5 | VL | KM | 02.11.22 |
| F | DRAFT PART 5 | VL | KM | 04.11.22 |
| G | DRAFT PART 5 | VL | KM | 09.11.22 |
| H | PART 5 | VL | KM | 16.11.22 |
| I | PART 5 | BB | MW | 13.06.23 |
| J | PART 5 | BB | MW | 17.07.23 |
| K | PART 5 | BB | MW | 12.10.23 |
| L | PART 5 | BB | MW | 16.11.23 |

TREE LEGEND

TREES TO BE REMOVED

TREES TO BE RETAINED

STRUCTURAL ROOT ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

LEVEL LEGEND

EXISTING LEVEL RL 0.00

GENERAL LEGEND

EXISTING TO BE DEMOLISHED

EXISTING FLOOR TO BE DEMOLISHD

STATUS
PART 5

mode SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au
ABN: 65 112 807 931

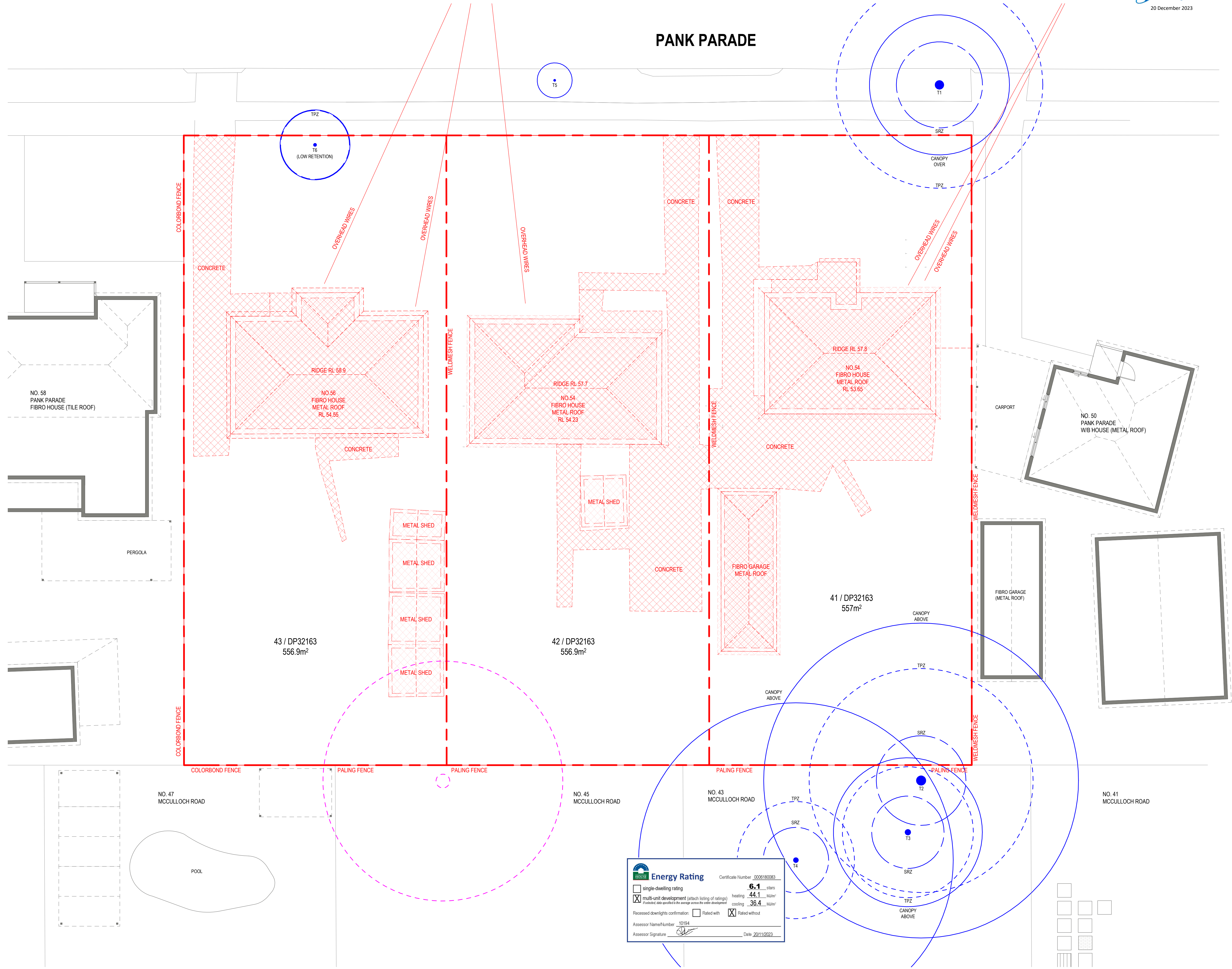
CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
DEMOLITION PLAN

| | |
|--------------------------------|----------------------|
| DRAWN VL | CHECKED KM |
| ISSUE 16/11/2023 1:30:09 PM | SCALE @ A1 1: 100 |
| PROJECT No 22032 | SCALE @ A3 1: 200 |
| STAGE DA | REVISION L |
| DRAWING No AR-0500 | |

PANK PARADE



Energy Rating Certificate Number 0006180083

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 44.1 MJ/m²

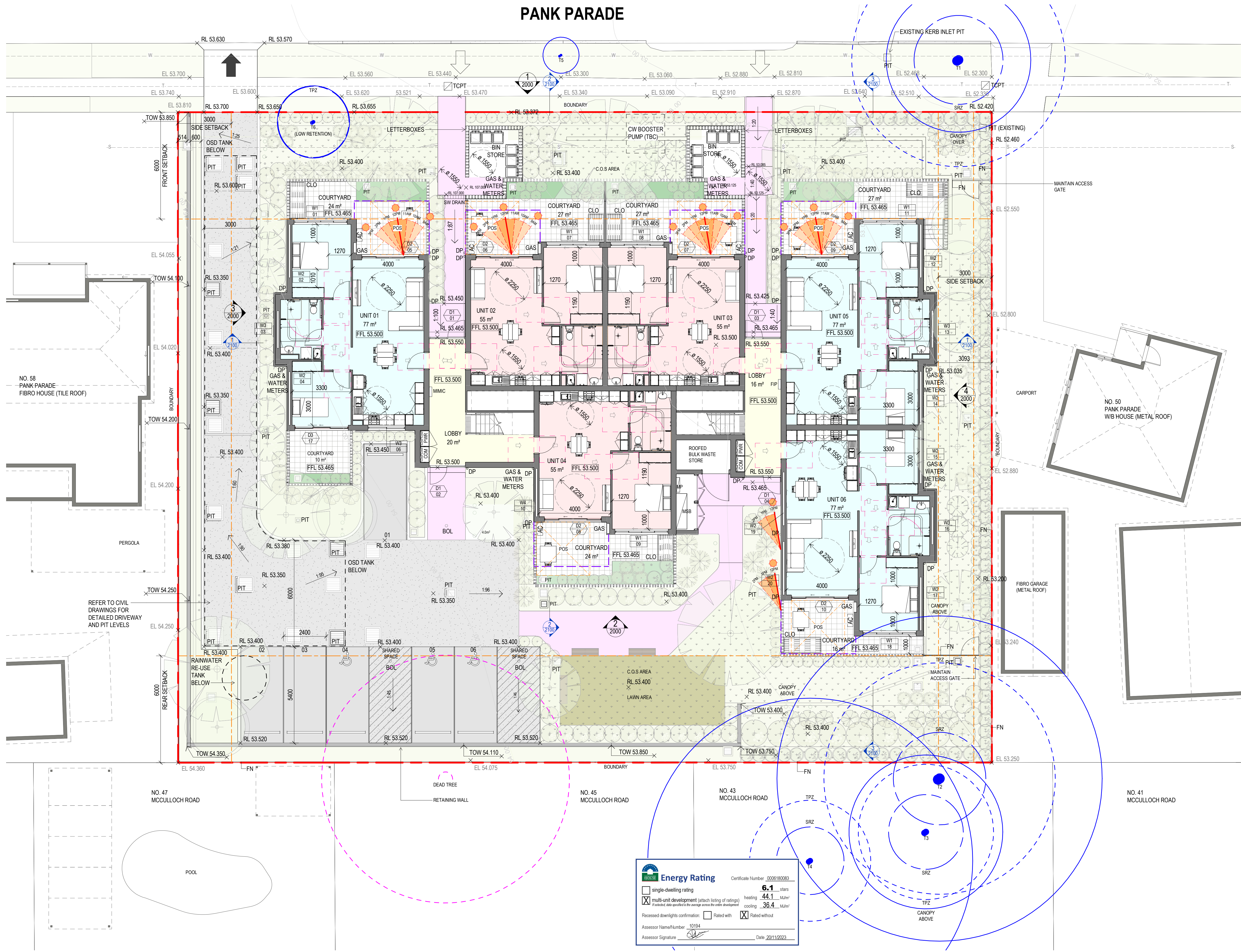
cooling 36.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194

Assessor Signature *[Signature]* Date 20/11/2023

PANK PARADE



Energy Rating

Certificate Number: 0006180083

single-dwelling rating: **6.1** stars

multi-unit development (attach listing of ratings): heating **44.1** MJ/m², cooling **36.4** MJ/m²

Recessed daylighting confirmation: ☐ Rated with, ☒ Rated without

Assessor Name/Number: 10194

Assessor Signature: [Signature], Date: 20/11/2023

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| AMENDMENTS | | | | |
|------------|--------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| K | DRAFT PART 5 | VL | KM | 02.11.22 |
| L | DRAFT PART 5 | VL | KM | 04.11.22 |
| M | DRAFT PART 5 | VL | KM | 09.11.22 |
| N | PART 5 | VL | KM | 16.11.22 |
| O | PART 5 | BB | MW | 31.05.23 |
| P | PART 5 | BB | MW | 13.06.23 |
| Q | PART 5 | BB | MW | 17.07.23 |
| R | PART 5 | BB | MW | 12.10.23 |
| S | PART 5 | BB | MW | 16.11.23 |

TREE LEGEND

TREES TO BE REMOVED

TREES TO BE RETAINED

STRUCTURAL ROOT ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

LEVEL LEGEND

EXISTING LEVEL EL 0.00

PROPOSED LEVEL RL 0.00

UNIT TYPE LEGEND

ONE BEDROOM UNIT

TWO BEDROOM UNIT

LANDSCAPE LEGEND

PRIVATE LANDSCAPE AREA

COS

COMMON LANDSCAPE AREA

DEEP SOIL ZONE

PARKING

DRIVEWAYS

WALKWAYS

COURTYARD / BALCONY

GENERAL LEGEND

SITE BOUNDARY

SITE SETBACK

BALCONY OVER

POS

EXISTING SYDNEY WATER MAIN

EXISTING SYDNEY WATER SEWER MAIN

BENCH

ABBREVIATION LEGEND

AC AC OUTDOOR CONDENSER

BOL BOLLARD

COM COMMS CUPBOARD

CLO CLOTHESLINE

D DOOR

W WINDOW

DP DOWNPIPE

FN COLORBOND FENCE

GAS INSTANTANEOUS GAS

GTR GUTTER

LVR EXHAUST LOUVER

PIT STORMWATER PIT

POS PRIVATE OPEN SPACE

FIP FIRE INDICATIVE PANEL

PWR POWER CUPBOARD

MIMIC MIMIC PANEL

MP METER PANEL

MSB MAIN SWITCHBOARD

STATUS

PART 5

0m 1 2 3 4 5

NORTH

mode SYDNEY Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au

ABN: 65 112 807 931

CLIENT

LAHC

PROJECT

BLACKTOWN SENIOR HOUSING

52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE

GENERAL ARRANGEMENT PLAN - GROUND LEVEL

| | |
|-----------------------------|-----------------------------------|
| DRAWN VL | CHECKED KM |
| ISSUE 16/11/2023 1:30:40 PM | SCALE @ A1 1:100 SCALE @ A3 1:200 |
| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-1000 | REVISION S |

DETERMINED by the NSW Land and Housing Corporation on:

Shed
20 December 2023

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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|-------------------------|------|-----|----------|
| I | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| J | DRAFT PART 5 | VL | KM | 02.11.22 |
| K | DRAFT PART 5 | VL | KM | 04.11.22 |
| L | DRAFT PART 5 | VL | KM | 09.11.22 |
| M | PART 5 | VL | KM | 16.11.22 |
| N | PART 5 | BB | MW | 13.06.23 |
| O | PART 5 | BB | MW | 17.07.23 |
| P | PART 5 | BB | MW | 12.10.23 |
| Q | PART 5 | BB | MW | 16.11.23 |

TREE LEGEND

TREES TO BE REMOVED

TREES TO BE RETAINED

STRUCTURAL ROOT ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

TREE PROTECTION ZONE (TPZ)
- REFER TO ARBORIST REPORT FOR DETAILS

LEVEL LEGEND

EXISTING LEVEL EL 0.00
PROPOSED LEVEL RL 0.00

UNIT TYPE LEGEND

ONE BEDROOM UNIT
TWO BEDROOM UNIT

LANDSCAPE LEGEND

PRIVATE LANDSCAPE AREA
COS
COMMON LANDSCAPE AREA
DEEP SOIL ZONE
PARKING
DRIVEWAYS
WALKWAYS
COURTYARD / BALCONY

GENERAL LEGEND

SITE BOUNDARY
SITE SETBACK
BALCONY OVER
POS
EXISTING SYDNEY WATER MAIN
EXISTING SYDNEY WATER SEWER MAIN
BENCH

ABBREVIATION LEGEND

AC AC OUTDOOR CONDENSER
BOL BOLLARD
COM COMMS CUPBOARD
CLO CLOTHESLINE
D DOOR
W WINDOW
DP DOWNPIPE
FN COLORBOND FENCE
GAS INSTANTANEOUS GAS
GTR GUTTER
LVR EXHAUST LOUVER
PIT STORMWATER PIT
POS PRIVATE OPEN SPACE
FIP FIRE INDICATIVE PANEL
PWR POWER CPUBOARD
MIMIC MIMIC PANEL
MP METER PANEL
MSB MAIN SWITCHBOARD

STATUS
PART 5

0m 1 2 3 4 5

mode
SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au

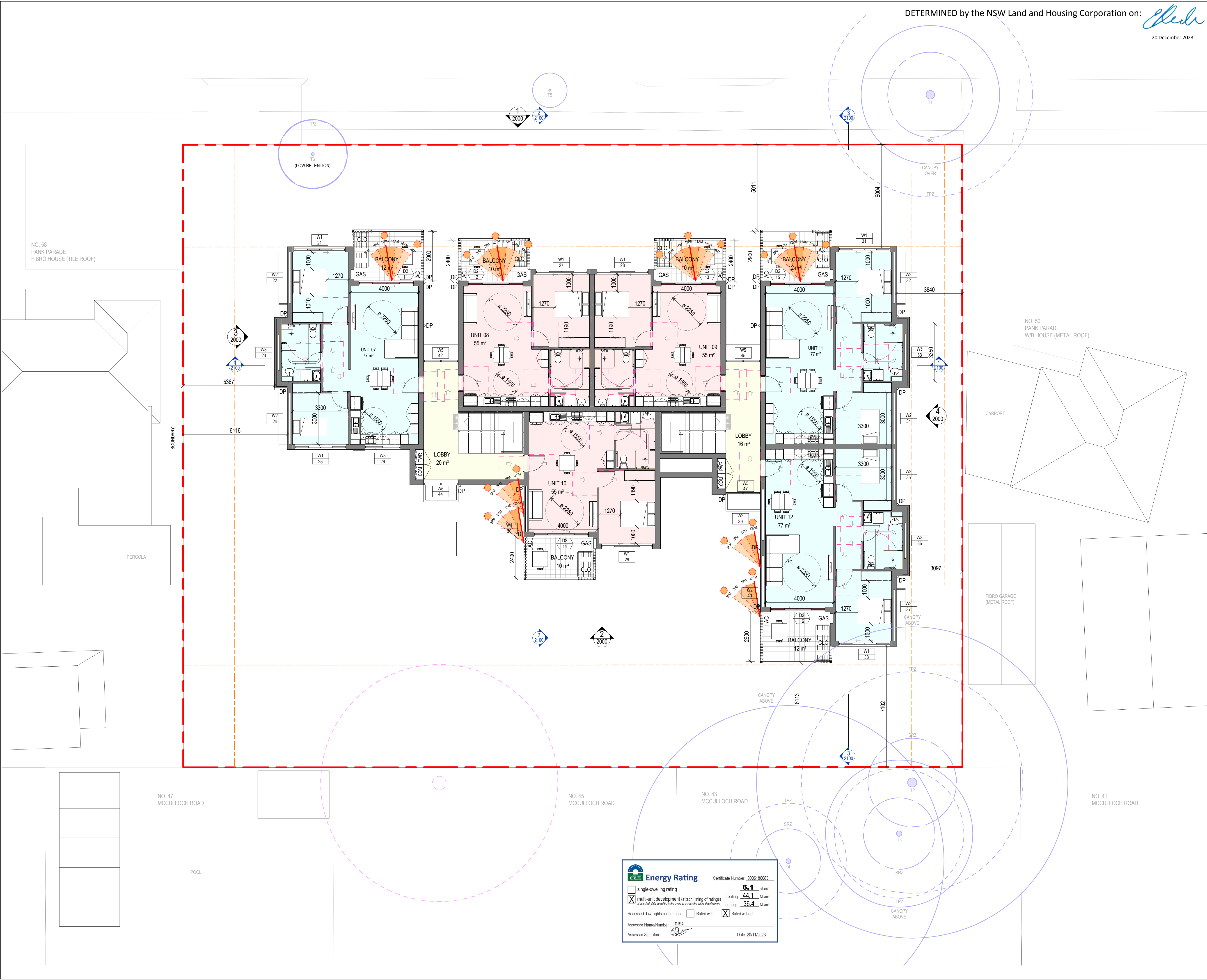
ABN: 65 112 807 931

CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR
HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
GENERAL ARRANGEMENT
PLAN - FIRST LEVEL

| | |
|--------------------------------|--|
| DRAWN VL | CHECKED KM |
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| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-1001 | REVISION Q |



Energy Rating Certificate Number 0006180083

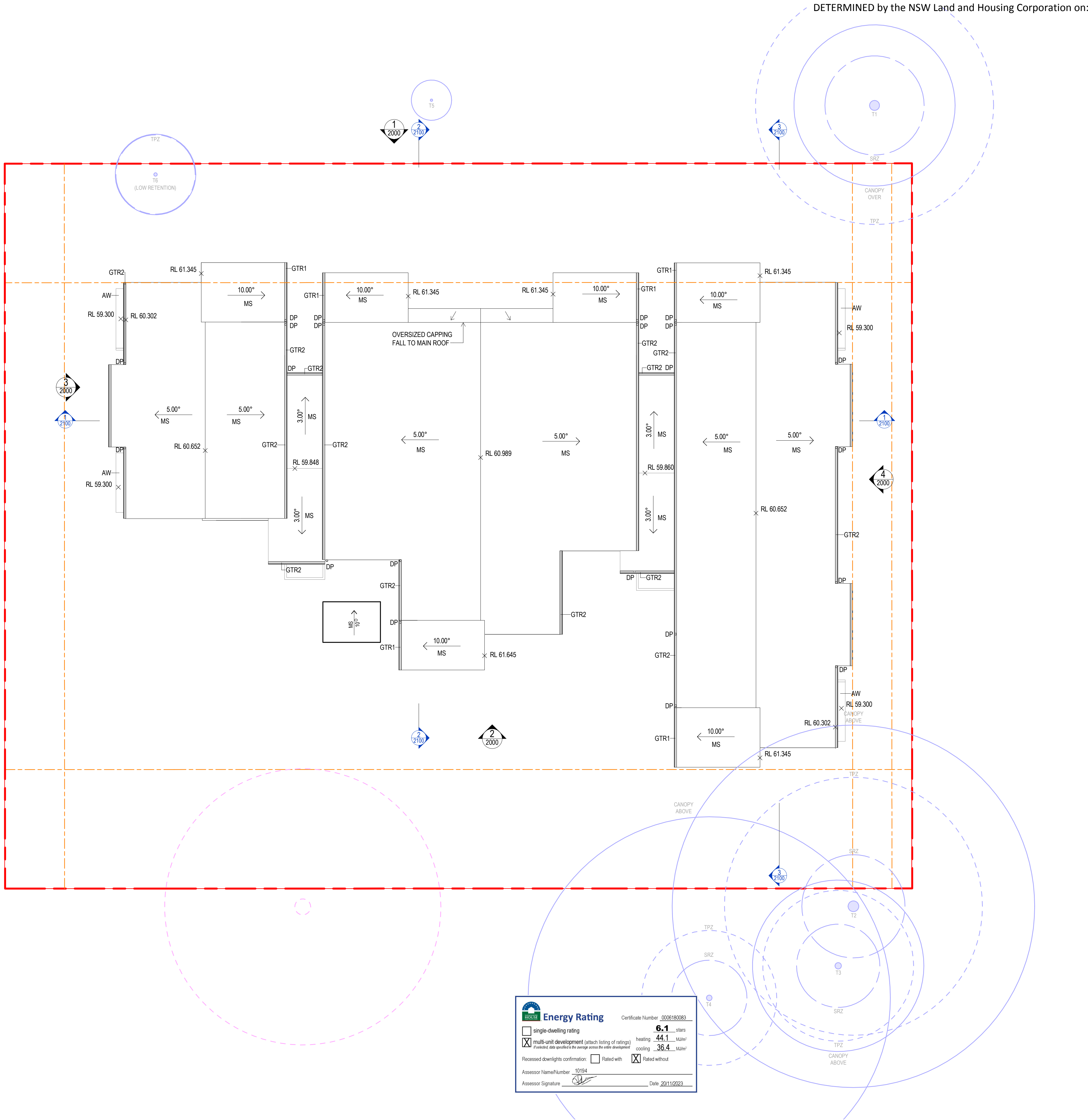
☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 44.1 MJ/m²
cooling 36.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194
Assessor Signature *[Signature]* Date 20/11/2023



20 December 2023

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| AMENDMENTS | | | | |
|------------|--------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| F | DRAFT PART 5 | VL | KM | 02.11.22 |
| G | DRAFT PART 5 | VL | KM | 04.11.22 |
| H | DRAFT PART 5 | VL | KM | 09.11.22 |
| I | PART 5 | VL | KM | 16.11.22 |
| J | PART 5 | BB | MW | 31.05.23 |
| K | PART 5 | BB | MW | 13.06.23 |
| L | PART 5 | BB | MW | 17.07.23 |
| M | PART 5 | BB | MW | 12.10.23 |
| N | PART 5 | BB | MW | 16.11.23 |

STATUS
PART 5

0m 1 2 3 4 5

NORTH

mode SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au
ABN: 65 112 807 931

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LAHC

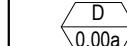
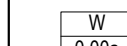
PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
GENERAL ARRANGEMENT PLAN - ROOF

| | |
|--------------------------------|----------------------|
| DRAWN VL | CHECKED KM |
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| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-1002 | REVISION N |

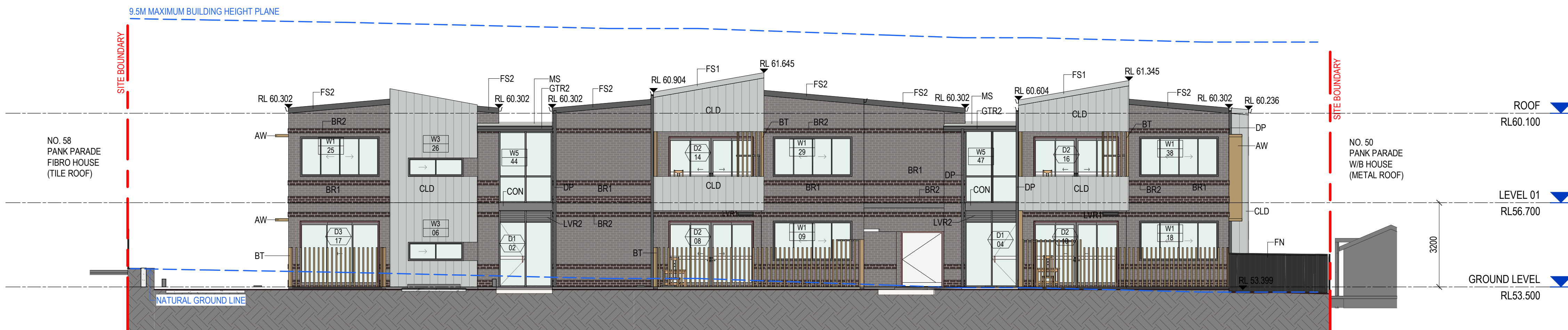
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| AMENDMENTS | | | | |
|------------|--------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| F | DRAFT PART 5 | VL | KM | 02.11.22 |
| G | DRAFT PART 5 | VL | KM | 04.11.22 |
| H | DRAFT PART 5 | VL | KM | 09.11.22 |
| I | PART 5 | VL | KM | 16.11.22 |
| J | PART 5 | BB | MW | 31.05.23 |
| K | PART 5 | BB | MW | 13.06.23 |
| L | PART 5 | BB | MW | 17.07.23 |
| M | PART 5 | BB | MW | 12.10.23 |
| N | PART 5 | BB | MW | 16.11.23 |

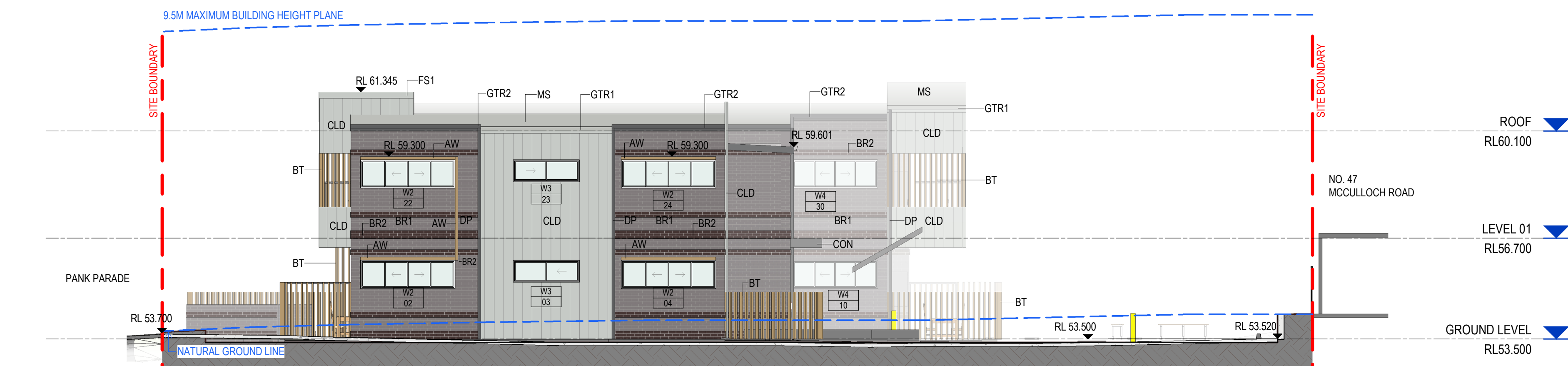
| LEGEND | |
|---|---------------|
|  | DOOR NUMBER |
|  | WINDOW NUMBER |



1 ELEVATION NORTH ELEVATION
Scale: 1 : 100




2 ELEVATION SOUTH ELEVATION
Scale: 1 : 100



3 ELEVATION WEST ELEVATION
Scale: 1 : 100



4 ELEVATION EAST ELEVATION
Scale: 1 : 100

| EXTERIOR FINISHES LEGEND | | | |
|--------------------------|---|--|-------------------------------------|
| CODE | IMAGE | DESCRIPTION | COLOUR |
| AL |  | ALUMINIUM POWDERCOATED: WINDOW/DOORS FRAME | COLORBOND MONUMENT |
| AW |  | WINDOW AWINGS | DULUX ELECTRO GOLD PEARL |
| BR1 |  | FACE BRICK | AUSTRAL BOWRAL 76 - BRAHMAN GRANITE |
| BR2 |  | FACE BRICK | AUSTRAL BOWRAL 76 - BOWRAL BLUE |
| BT |  | ALUMINIUM BATTEN SCREENS | DULUX ELECTRO GOLD PEARL |
| CLD |  | FIBRE CEMENT CLADDING | CEMENTEL BARESTONE |
| CON |  | EXPOSED CONCRETE SLAB EDGE | |
| DP |  | DOWNPIPE | COLORBOND BASALT |
| FN |  | COLORBOND FENCE | COLORBOND MONUMENT |
| FS1 |  | FASCIA | COLORBOND SHALE GREY |
| FS2 |  | FASCIA | COLORBOND BASALT |
| GL |  | GLASS: WINDOWS AND DOORS | |
| GTR1 |  | GUTTER | COLORBOND SHALE GREY |
| GTR2 |  | GUTTER | COLORBOND BASALT |
| LVR1 |  | METAL LOUVRE | COLORBOND MONUMENT |
| LVR2 |  | LOUVRE ABOVE DOOR | COLORBOND MONUMENT |
| MS |  | METAL ROOF SHEET | COLORBOND SHALE GREY |
| PT1 |  | PAINT FINISH | COLORBOND SHALE GREY |

Energy Rating Certificate Number: 0006180083

☐ single-dwelling rating

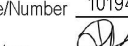
☒ multi-unit development (attach listing of ratings)

heating **6.1** stars

cooling **44.1** stars

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number: 10194

Assessor Signature:  Date: 20/11/2023

STATUS
PART 5

0m 1 2 3 4 5

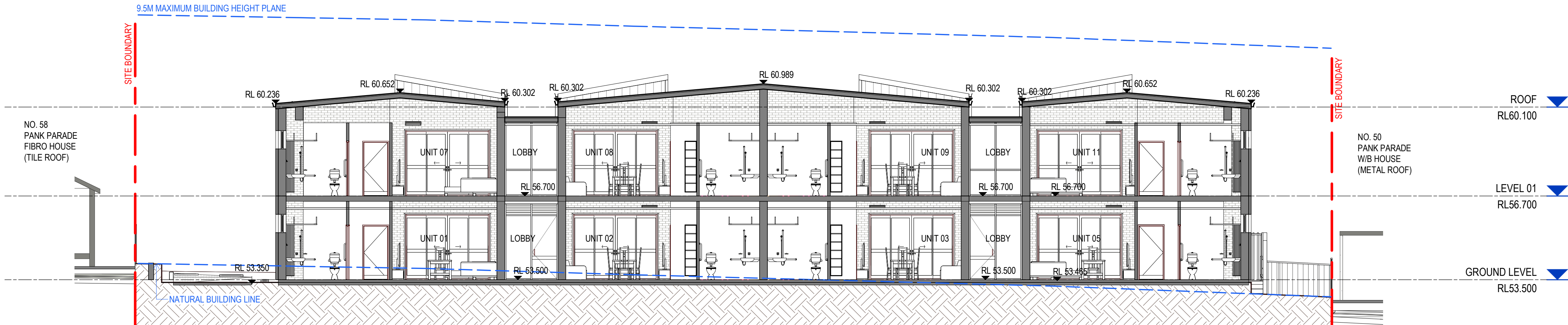
mode SYDNEY Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au
ABN: 65 112 807 931

CLIENT
LAHC

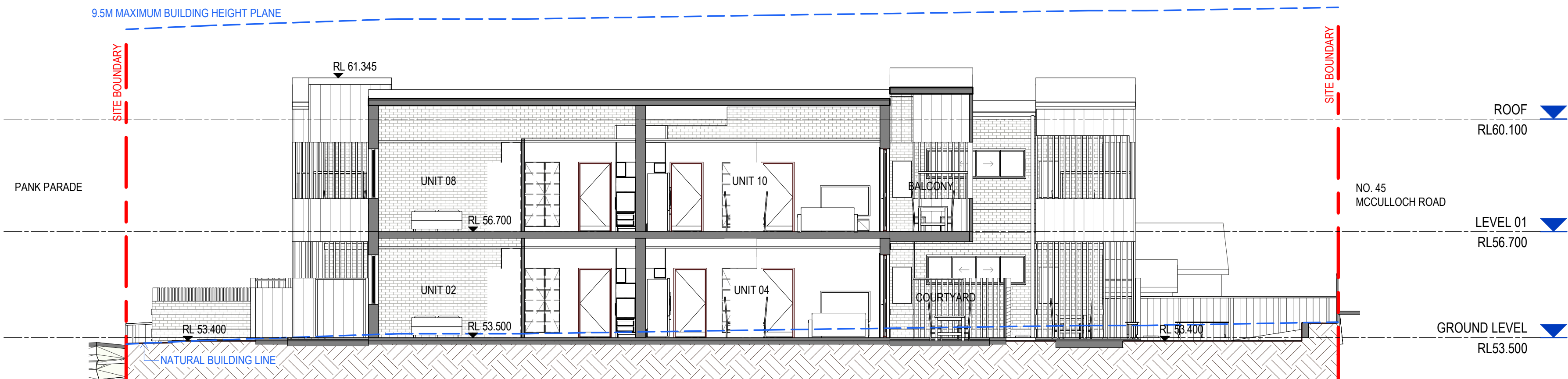
PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163
DRAWING TITLE
ELEVATIONS

| | |
|--------------------------------|---------------------|
| DRAWN VL | CHECKED KM |
| ISSUE 16/11/2023 1:32:22 PM | SCALE @ A1 1:100 |
| PROJECT No 22032 | SCALE @ A3 1:200 |
| STAGE DA | REVISION N |
| DRAWING No AR-2000 | |

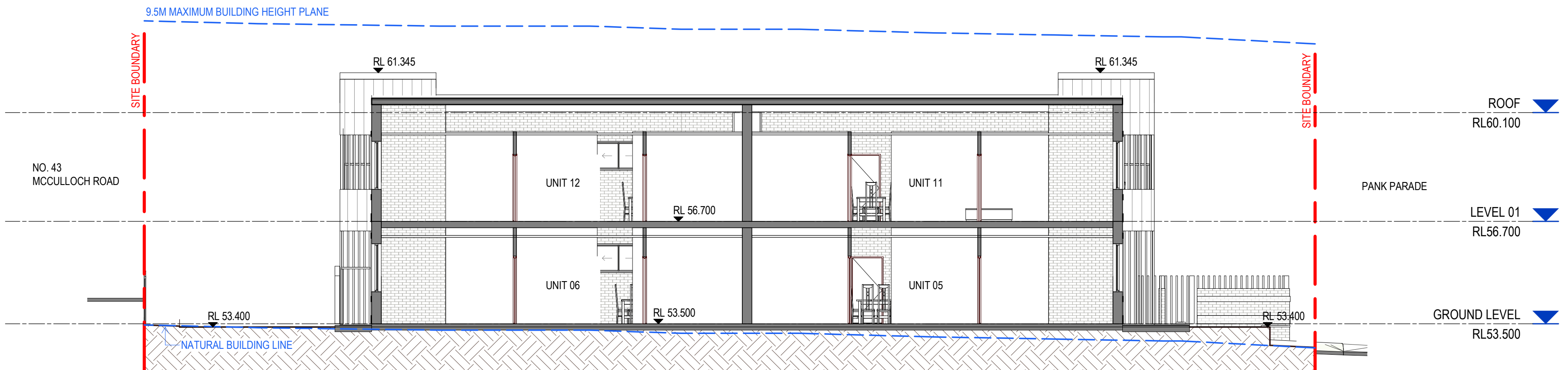
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1 SECTION SECTION 1
Scale: 1 : 100



2 SECTION SECTION 2
Scale: 1 : 100



3 SECTION SECTION 3
Scale: 1 : 100

Energy Rating Certificate Number 0006180083

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 44.1 MJ/m²

cooling 36.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194

Assessor Signature *[Signature]* Date 20/11/2023

STATUS
PART 5

0m 1 2 3 4 5

mode SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au
ABN: 65 112 807 931

CLIENT
LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

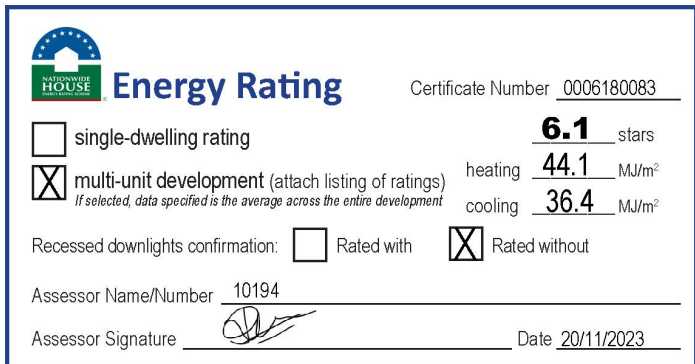
DRAWING TITLE
SECTIONS

| | | | |
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| DRAWN VL | CHECKED KM | SCALE @ A1 1: 100 | SCALE @ A3 1: 200 |
| ISSUE 18/11/2023 1:33:06 PM | PROJECT No 22032 | STAGE DA | DRAWING No AR-2100 |
| | | REVISION M | |

| DOOR SCHEDULE, GLAZED DOORS | | | | | |
|-----------------------------|-----|---------------|-----------|--------|----------|
| TYPE | NO. | OPERATIO N | DIMENSION | | COMMENTS |
| | | | WIDTH | HEIGHT | |
| GROUND LEVEL | | | | | |
| D1 | 01 | SW | 940 | 2400 | |
| D1 | 02 | SW | 940 | 2400 | |
| D1 | 03 | SW | 940 | 2400 | |
| D1 | 04 | SW | 940 | 2400 | |
| D2 | 05 | SL | 3200 | 2500 | |
| D2 | 06 | SL | 3200 | 2500 | |
| D2 | 07 | SL | 3200 | 2500 | |
| D2 | 08 | SL | 3200 | 2500 | |
| D2 | 09 | SL | 3200 | 2500 | |
| D2 | 10 | SL | 3200 | 2500 | |
| D3 | 17 | SL | 3000 | 2500 | |
| LEVEL 01 | | | | | |
| D2 | 11 | SL | 3200 | 2500 | |
| D2 | 12 | SL | 3200 | 2500 | |
| D2 | 13 | SL | 3200 | 2500 | |
| D2 | 14 | SL | 3200 | 2500 | |
| D2 | 15 | SL | 3200 | 2500 | |
| D2 | 16 | SL | 3200 | 2500 | |

| WINDOW SCHEDULE | | | | | |
|-----------------|-----|-----------|--------|-------------|-------------------|
| TYPE | NO. | DIMENSION | | SILL HEIGHT | COMMENTS |
| | | WIDTH | HEIGHT | | |
| GROUND LEVEL | | | | | |
| W1 | 01 | 3000 | 1500 | 1000 | |
| W2 | 02 | 3000 | 900 | 1600 | |
| W3 | 03 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 04 | 3000 | 900 | 1600 | |
| W3 | 06 | 2100 | 700 | 1000 | Translucent Glass |
| W1 | 07 | 3000 | 1500 | 1000 | |
| W1 | 08 | 3000 | 1500 | 1000 | |
| W1 | 09 | 3000 | 1500 | 1000 | |
| W4 | 10 | 2700 | 900 | 1600 | |
| W1 | 11 | 3000 | 1500 | 1000 | |
| W2 | 12 | 3000 | 900 | 1600 | |
| W3 | 13 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 14 | 3000 | 900 | 1600 | |
| W2 | 15 | 3000 | 900 | 1600 | |
| W3 | 16 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 17 | 3000 | 900 | 1600 | |
| W1 | 18 | 3000 | 1500 | 1000 | |
| W2 | 19 | 3000 | 900 | 1600 | |
| W2 | 20 | 3000 | 900 | 1600 | |
| LEVEL 01 | | | | | |
| W1 | 21 | 3000 | 1500 | 1000 | |
| W2 | 22 | 3000 | 900 | 1600 | |
| W3 | 23 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 24 | 3000 | 900 | 1600 | |
| W1 | 25 | 3000 | 1500 | 1000 | |
| W3 | 26 | 2100 | 700 | 1000 | |
| W1 | 27 | 3000 | 1500 | 1000 | |
| W1 | 28 | 3000 | 1500 | 1000 | |
| W1 | 29 | 3000 | 1500 | 1000 | |
| W4 | 30 | 2700 | 900 | 1600 | |
| W1 | 31 | 3000 | 1500 | 1000 | |
| W2 | 32 | 3000 | 900 | 1600 | |
| W3 | 33 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 34 | 3000 | 900 | 1600 | |
| W2 | 35 | 3000 | 900 | 1600 | |
| W3 | 36 | 2100 | 700 | 1800 | Translucent Glass |
| W2 | 37 | 3000 | 900 | 1600 | |
| W1 | 38 | 3000 | 1500 | 1000 | |
| W2 | 39 | 3000 | 900 | 1600 | |
| W2 | 40 | 3000 | 900 | 1600 | |

| TYPE | NO. | WIDTH | HEIGHT | SILL HEIGHT | TRANSOM HEIGHT | Comments |
|------|-----|-------|--------|-------------|----------------|--------------------------------|
| W5 | 42 | 2330 | 2900 | 0 | 1000 | OPERABLE WITH 125MM RESTRICTER |
| W5 | 44 | 2030 | 2900 | 0 | 1000 | OPERABLE WITH 125MM RESTRICTER |
| W5 | 45 | 2330 | 2900 | 0 | 1000 | OPERABLE WITH 125MM RESTRICTER |
| W5 | 47 | 2180 | 2900 | 0 | 1000 | OPERABLE WITH 125MM RESTRICTER |



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| AMENDMENTS | | | | |
|------------|-------------------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| E | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| F | DRAFT PART 5 | VL | KM | 02.11.22 |
| G | DRAFT PART 5 | VL | KM | 04.11.22 |
| H | DRAFT PART 5 | VL | KM | 09.11.22 |
| I | PART 5 | VL | KM | 16.11.22 |
| J | PART 5 | BB | MW | 13.06.23 |
| K | PART 5 | BB | MW | 17.07.23 |
| L | PART 5 | BB | MW | 12.10.23 |
| M | PART 5 | BB | MW | 16.11.23 |

- DOOR NOTES (AU)**
- DOOR SCHEDULE TO BE READ IN CONJUNCTION WITH DOOR HARDWARE SCHEDULE.
 - WHERE REQUIRED, SEALS ARE TO BE CONTINUOUS. COORDINATE CLOSERS AND LATCHES TO SUIT.
 - REFER TO GA PLANS AND ELEVATIONS FOR DOOR HANDING AND SLIDING DIRECTION
 - VISUAL INDICATORS ON GLAZING TO COMPLY WITH AS1428.1.
 - ALL GLASS SELECTED AND INSTALLED TO AS1288. SAFETY GLASS WHERE REQUIRED.
 - GRILLES TO MECHANICAL ENGINEER'S DOCUMENTS.
 - DROP BOLTS TO ALL NON-LOCKING LEAFS OF DOUBLE DOORS UNLESS NOTED OTHERWISE.

| DOOR OPERATION | |
|--|--|
| B BI-FOLDING C CAVITY SLIDING F FACE SLIDING G GRILLE (COLLAPSING) H HINGED (SIDE) O OVERHEAD (SECTIONAL) M MULTI-FOLDING (CONCERTINA) P PIVOT R ROLL-UP (SHUTTER/ GRILLE) S SLIDING STACKING T TILT PANEL (OVERHEAD) W WALL OPERABLE X OPENING ONLY | |

- DOORS ABBREVIATIONS**
- PANEL TYPE**
- SC SOLID CORE
 - HC HOLLOW CORE
 - TF TIMBER FRAMED GLASS
 - TFT TIMBER FRAMED GLASS WITH TRANSOM
 - AF ALUMINIUM FRAMED GLASS
 - AFT ALUMINIUM FRAMED GLASS WITH TRANSOM
 - LV LOUVRE
 - FSR FRAMELESS GLASS WITH RAILS
 - RS ROLLER SHUTTER
 - SD SMOKE DOOR
 - FD FIRE DOOR
- FRAME TYPE**
- MF METAL FRAME
 - TF TIMBER FRAME
 - AF ALUMINIUM FRAME
 - RSF ROLLER SHUTTER FRAME
 - SOF SECTIONAL OVERHEAD FRAME
- FINISHES**
- AN ANODISED ALUMINIUM - CLEAR
 - GL FRAMELESS GLASS
 - PT PAINT
 - PC POWDERCOAT
- HARDWARE SETS**
- ENS ENTRY SET
 - EXS EXIT SET
 - PRS PRIVACY SET
 - PSS PASSAGE SET
 - PTS PATIO SET
- FROM ELEVATIONS**
- VP VISION PANEL
 - GR GRILLE
 - KP KICK PLATE

STATUS
PART 5



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ABN: 65 112 807 931

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LAHC

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
DOOR & WINDOW SCHEDULES

| | | | |
|--------------------------------|------------------------------------|------------------------------|----------------------|
| DRAWN VL | CHECKED KM | | |
| ISSUE 16/11/2023 1:33:26 PM | SCALE @ A1 SCALE @ A3 1: 200 | | |
| PROJECT No 22032 | STAGE DA | DRAWING No AR-4100 | REVISION M |


[Signature]
20 December 2023

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| AMENDMENTS | | | | |
|------------|--------------|------|-----|----------|
| REV | DESCRIPTION | AUTH | CHK | DATE |
| A | DRAFT PART 5 | VL | KM | 04.11.22 |
| B | DRAFT PART 5 | VL | KM | 09.11.22 |
| C | PART 5 | VL | KM | 16.11.22 |
| D | PART 5 | BB | MW | 13.06.23 |
| E | PART 5 | BB | MW | 17.07.23 |
| F | PART 5 | BB | MW | 12.10.23 |
| G | PART 5 | BB | MW | 16.11.23 |
| | | | | |
| | | | | |



PANK PARADE PERSPECTIVE

**Energy Rating**

Certificate Number 0006180083

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, enter the average of the ratings across the entire development.


heating 6.1 stars

cooling 44.1 MJ/m²

cooling 36.4 MJ/m²


Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194

Assessor Signature  Date 20/11/2023

STATUS

PART 5



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PROJECT

BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE

PHOTOMONTAGE - SHEET 1

| | |
|---------------------------------|----------------|
| DRAWN VL | CHECKED KM |
| ISSUE 18/11/2023 1:33:31 PM NTS | SCALE @ A1 NTS |
| PROJECT No 22032 | STAGE DA |
| DRAWING No AR-8000 | REVISION G |




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AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| A | DRAFT PART 5 | VL | KM | 04.11.22 |
| B | DRAFT PART 5 | VL | KM | 09.11.22 |
| C | PART 5 | VL | KM | 16.11.22 |
| D | PART 5 | BB | MW | 13.06.23 |
| E | PART 5 | BB | MW | 17.07.23 |
| F | PART 5 | BB | MW | 12.10.23 |
| G | PART 5 | BB | MW | 16.11.23 |
| | | | | |
| | | | | |



PANK PARADE PERSPECTIVE

**Energy Rating**

Certificate Number 0006180083

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, enter weather in the average across the entire development


heating 6.1 stars

cooling 44.1 MJ/m²

cooling 36.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number 10194

Assessor Signature  Date 20/11/2023

STATUS
PART 5



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PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163
DRAWING TITLE
PHOTOMONTAGE - SHEET 2

| | | | |
|--------------------------------|---------------|-----------------------|-------------------|
| DRAWN VL | CHECKED KM | SCALE @ A1 NTS | SCALE @ A3 NTS |
| ISSUE 18/11/2023 1:33:35 PM | STAGE DA | DRAWING No AR-8001 | REVISION G |
| PROJECT No 22032 | | | |

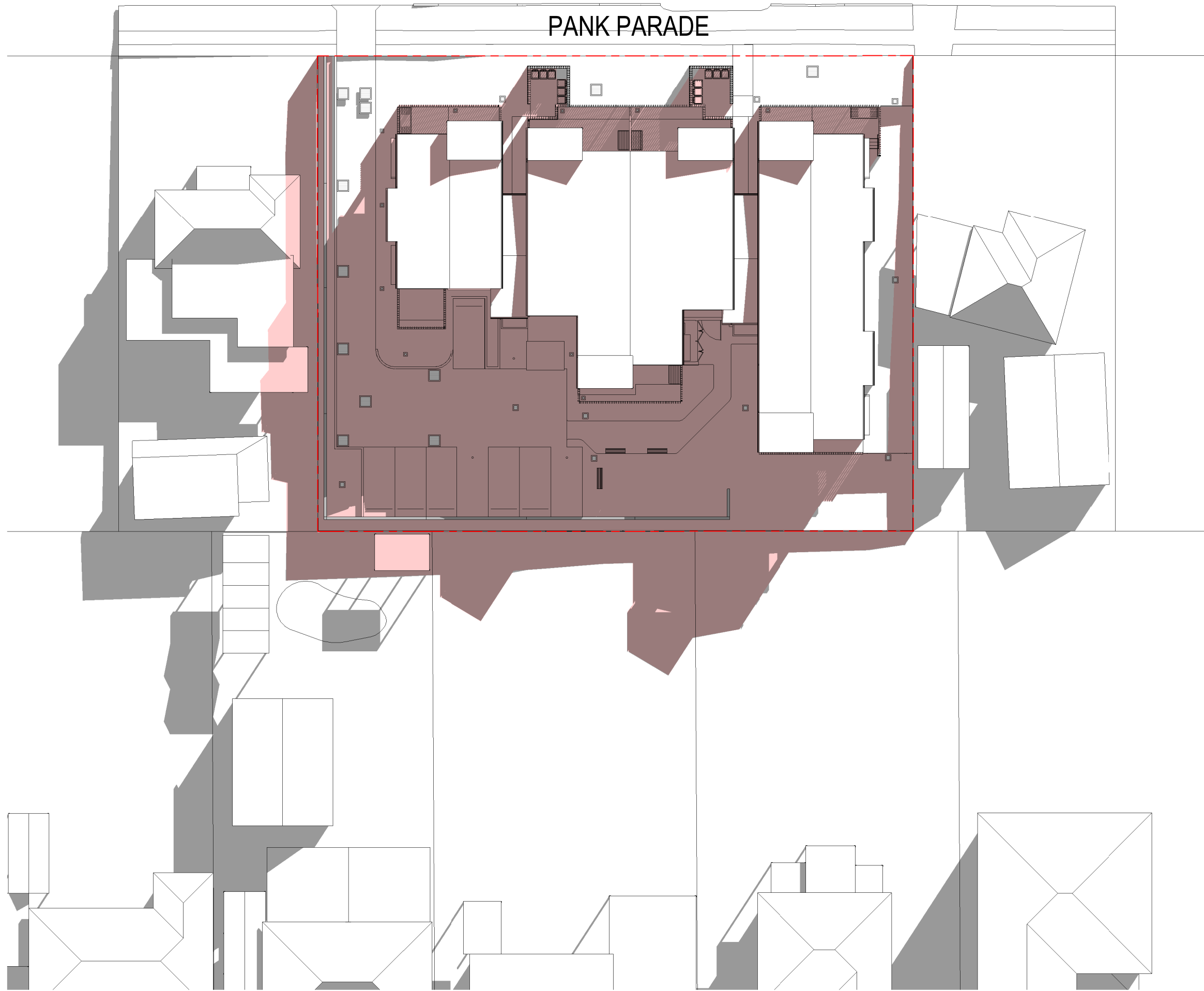
20 December 2023

Chen

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| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------|------|-----|----------|
| F | DRAFT PART 5 | VL | KM | 02.11.22 |
| G | DRAFT PART 5 | VL | KM | 04.11.22 |
| H | DRAFT PART 5 | VL | KM | 09.11.22 |
| I | PART 5 | VL | KM | 16.11.22 |
| J | PART 5 | BB | MW | 31.05.23 |
| K | PART 5 | BB | MW | 13.06.23 |
| L | PART 5 | BB | MW | 17.07.23 |
| M | PART 5 | BB | MW | 12.10.23 |
| N | PART 5 | BB | MW | 16.11.23 |



1 3D VIEW SOLAR DIAGRAM - 21ST JUNE 9AM

Scale: NTS



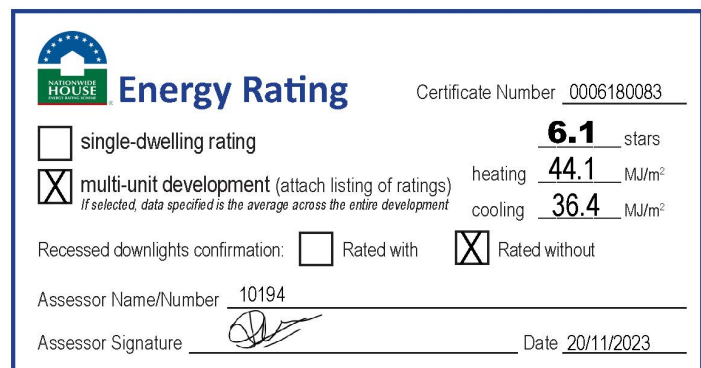
2 3D VIEW SOLAR DIAGRAM - 21ST JUNE 12PM

Scale: NTS



3 3D VIEW SOLAR DIAGRAM - 21ST JUNE 3PM

Scale: NTS

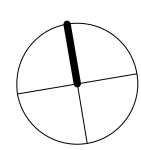


LEGEND

- GREY AREA INDICATES EXISTING SHADOWS CAST BY NEIGHBOURING PROPERTIES
- PINK AREA INDICATES SHADOWS CAST BY PROPOSED DEVELOPMENT

STATUS
PART 5

NORTH



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PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
SOLAR ANALYSIS

| | | | |
|--------------------------------|---------------------|-------------------|-----------------------|
| DRAWN VL | CHECKED KM | SCALE @ A1 NTS | SCALE @ A3 NTS |
| ISSUE 18/11/2023 1:33:46 PM | PROJECT No 22032 | STAGE DA | DRAWING No AR-8100 |
| | | | REVISION N |

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| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|-------------------------|------|-----|----------|
| A | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| B | DRAFT PART 5 | VL | KM | 02.11.22 |
| C | DRAFT PART 5 | VL | KM | 04.11.22 |
| D | DRAFT PART 5 | VL | KM | 09.11.22 |
| E | PART 5 | VL | KM | 16.11.22 |
| F | PART 5 | BB | MW | 13.06.23 |
| G | PART 5 | BB | MW | 17.07.23 |
| H | PART 5 | BB | MW | 12.10.23 |
| I | PART 5 | BB | MW | 16.11.23 |



1

3D VIEW VIEW FROM SUN ANGLE - 9AM

Scale: NTS



2

3D VIEW VIEW FROM SUN ANGLE - 10AM

Scale: NTS



3

3D VIEW VIEW FROM SUN ANGLE - 11AM

Scale: NTS



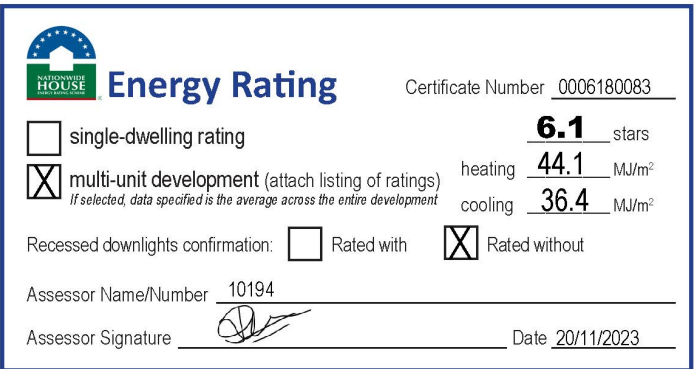
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3D VIEW VIEW FROM SUN ANGLE - 12PM

Scale: NTS

| UNIT NO. | SOLAR ACCESS - GROUND FLOOR | | | | | | | | | | | |
|-------------|-----------------------------|-----|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|
| | UNIT 01 | | UNIT 02 | | UNIT 03 | | UNIT 04 | | UNIT 05 | | UNIT 06 | |
| | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS |
| 9AM - 10AM | | | | | | | | | | | | |
| 10AM - 11AM | | | | | | | | | | | | |
| 11AM - 12PM | | | | | | | | | | | | |
| 12PM - 1PM | | | | | | | | | | | | |
| 1PM - 2PM | | | | | | | | | | | | |
| 2PM - 3PM | | | | | | | | | | | | |

| UNIT NO. | SOLAR ACCESS - FIRST FLOOR | | | | | | | | | | | |
|-------------|----------------------------|-----|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|
| | UNIT 07 | | UNIT 08 | | UNIT 09 | | UNIT 10 | | UNIT 11 | | UNIT 12 | |
| | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS |
| 9AM - 10AM | | | | | | | | | | | | |
| 10AM - 11AM | | | | | | | | | | | | |
| 11AM - 12AM | | | | | | | | | | | | |
| 12AM - 1PM | | | | | | | | | | | | |
| 1PM - 2PM | | | | | | | | | | | | |
| 2PM - 3PM | | | | | | | | | | | | |



STATUS
PART 5

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PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

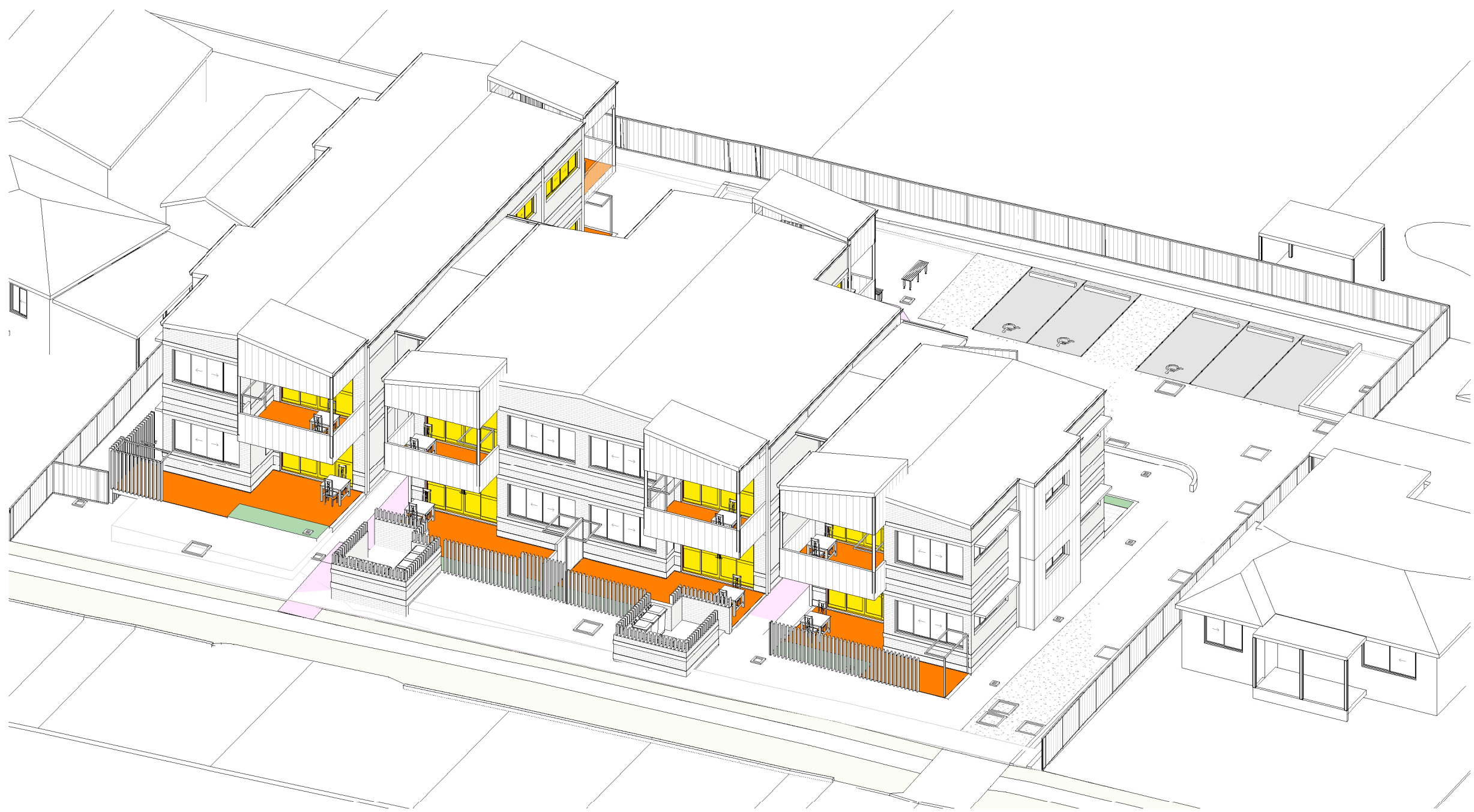
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SOLAR STUDY - SHEET 1

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| PROJECT No 22032 | SCALE @ A3 NTS |
| STAGE DA | REVISION I |
| DRAWING No AR-8200 | |

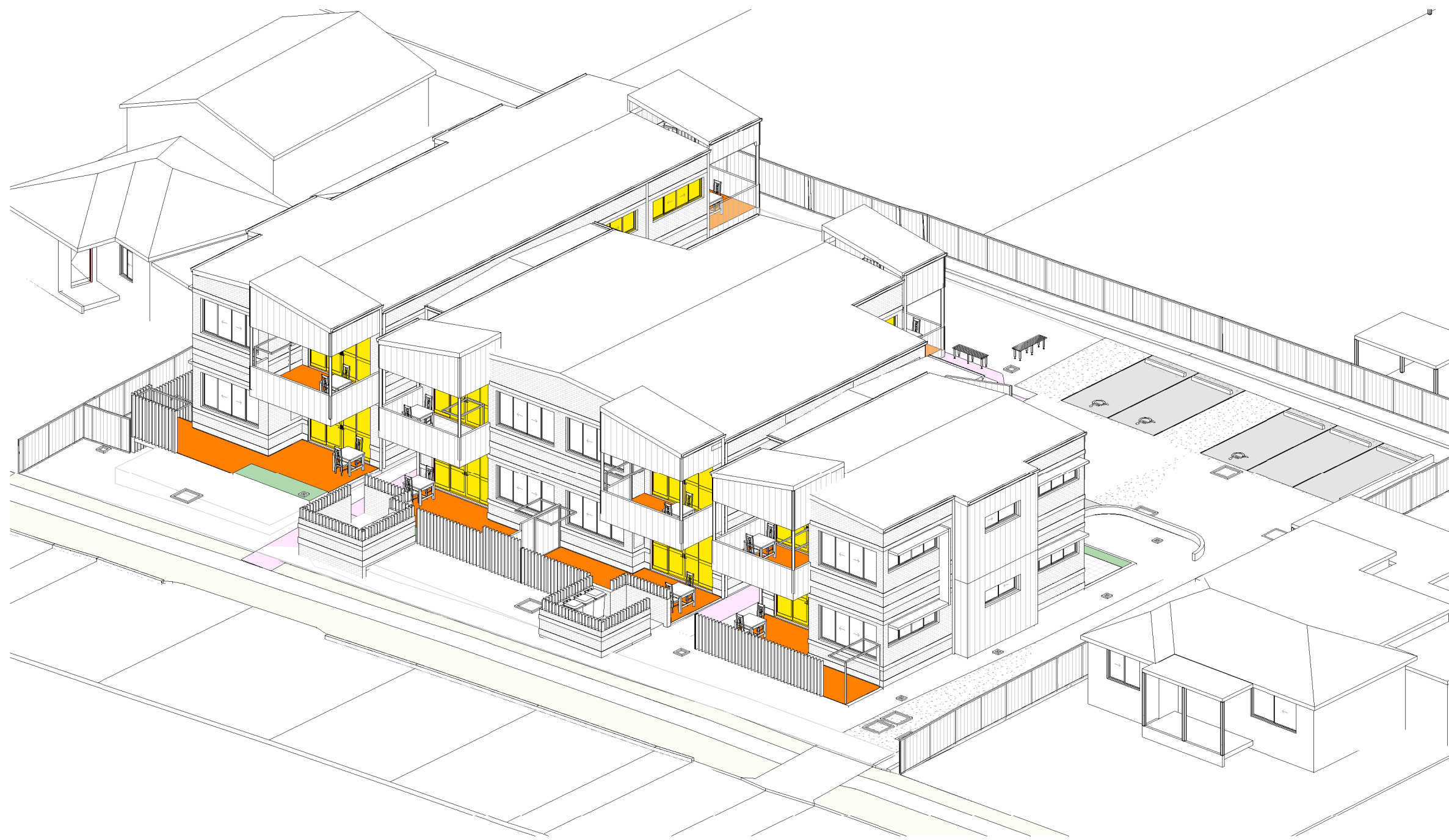
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AMENDMENTS

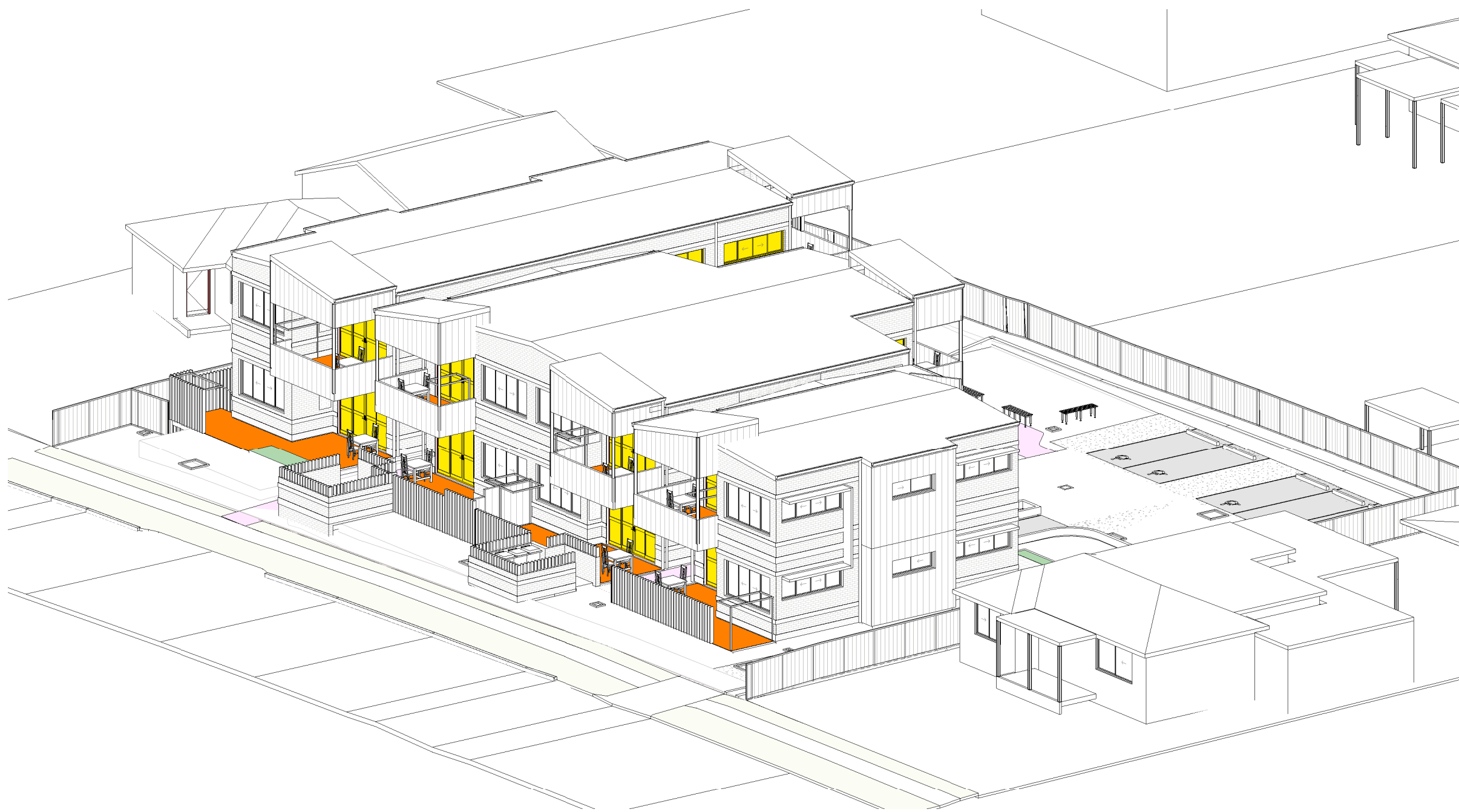
| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|-------------------------|------|-----|----------|
| A | STAGE B - SKETCH DESIGN | VL | KM | 10.10.22 |
| B | DRAFT PART 5 | VL | KM | 02.11.22 |
| C | DRAFT PART 5 | VL | KM | 04.11.22 |
| D | DRAFT PART 5 | VL | KM | 09.11.22 |
| E | PART 5 | VL | KM | 16.11.22 |
| F | PART 5 | BB | MW | 13.06.23 |
| G | PART 5 | BB | MW | 17.07.23 |
| H | PART 5 | BB | MW | 12.10.23 |
| I | PART 5 | BB | MW | 16.11.23 |



1 3D VIEW VIEW FROM SUN ANGLE - 1PM
Scale: NTS



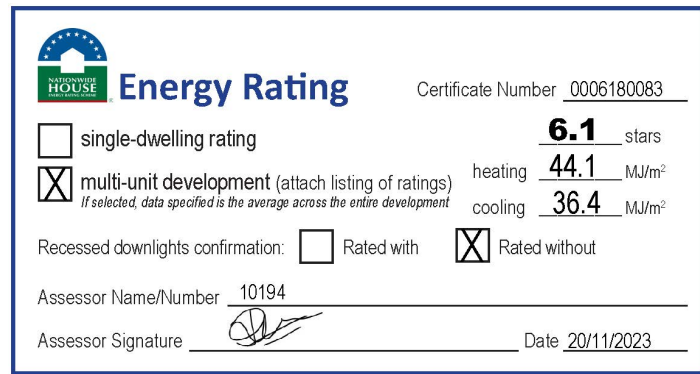
2 3D VIEW VIEW FROM SUN ANGLE - 2PM
Scale: NTS



3 3D VIEW VIEW FROM SUN ANGLE - 3PM
Scale: NTS

| SOLAR ACCESS - GROUND FLOOR | | | | | | | | | | | | |
|-----------------------------|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|
| UNIT NO. | UNIT 01 | | UNIT 02 | | UNIT 03 | | UNIT 04 | | UNIT 05 | | UNIT 06 | |
| | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS |
| 9AM - 10AM | | | | | | | | | | | | |
| 10AM - 11AM | | | | | | | | | | | | |
| 11AM - 12PM | | | | | | | | | | | | |
| 12PM - 1PM | | | | | | | | | | | | |
| 1PM - 2PM | | | | | | | | | | | | |
| 2PM - 3PM | | | | | | | | | | | | |

| SOLAR ACCESS - FIRST FLOOR | | | | | | | | | | | | |
|----------------------------|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|---------|-----|
| UNIT NO. | UNIT 07 | | UNIT 08 | | UNIT 09 | | UNIT 10 | | UNIT 11 | | UNIT 12 | |
| | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS | LIVING | POS |
| 9AM - 10AM | | | | | | | | | | | | |
| 10AM - 11AM | | | | | | | | | | | | |
| 11AM - 12PM | | | | | | | | | | | | |
| 12AM - 1PM | | | | | | | | | | | | |
| 1PM - 2PM | | | | | | | | | | | | |
| 2PM - 3PM | | | | | | | | | | | | |



STATUS
PART 5

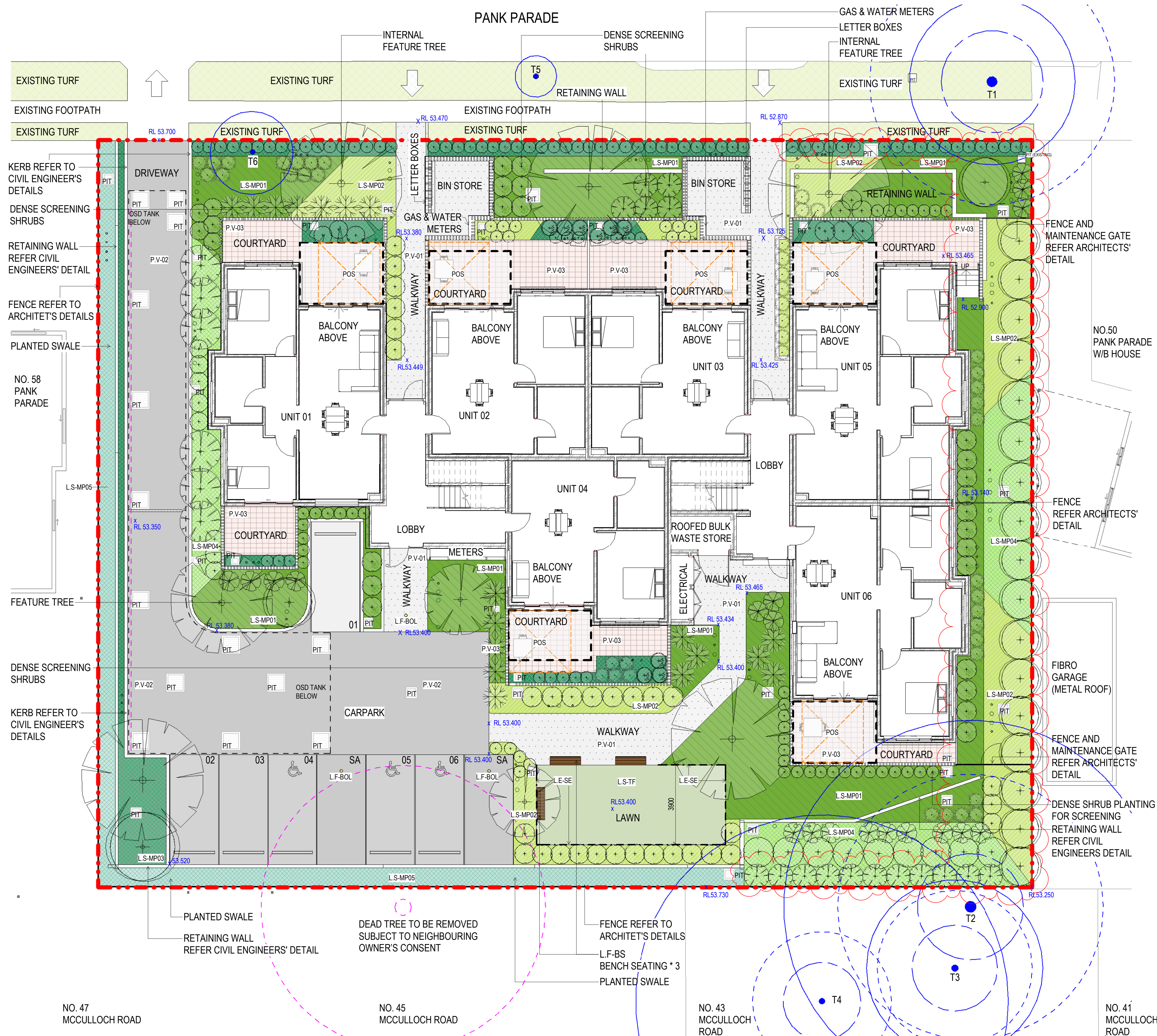
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ABN: 65 112 807 931

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PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
SOLAR STUDY - SHEET 2

| | | | |
|--------------------------------|-------------------|-----------------------|---------------|
| DRAWN VL | CHECKED KM | SCALE @ A3 NTS | |
| ISSUE 18/11/2023 1:35:38 PM | SCALE @ A1 NTS | SCALE @ A3 NTS | REVISION I |
| PROJECT No 22032 | STAGE DA | DRAWING No AR-8201 | |



LEGEND

GENERAL (REFER CIVIL ENGINEER & ARCHITECTURAL DOCUMENTATION)

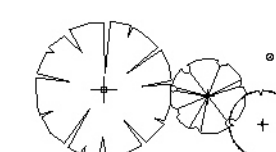
SITE BOUNDARY

PROPOSED LEVELS

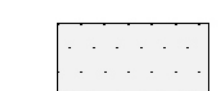
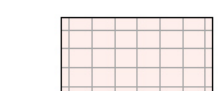
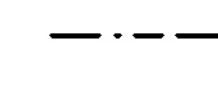
EXISTING VEGETATION

EXISTING TREES TO BE REMOVED
REFER ARBORIST REPORTEXISTING TREES
TO BE RETAINED & PROTECTED
DURING CONSTRUCTIONTREE PROTECTION ZONE (TPZ) -
REFER TO ARBORIST REPORT FOR
DETAILS

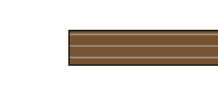
SOFTWORKS

PROPOSED FEATURE TREES/
SHRUBS/GROUNDCOVERS
REFER PLANTING PLANS AND SCHEDULEL.S-TF
PROPOSED TURF/ LAWN AREA
REFER TO DETAIL 4 | LD-5001E.X-TF
EXISTING TURFL.S-MP01
MASS PLANTING MIX 1
REFER TO DETAIL 3 | LD-5001L.S-MP02
MASS PLANTING MIX 2
REFER TO DETAIL 3 | LD-5001L.S-MP03
MASS PLANTING MIX 3
REFER TO DETAIL 3 | LD-5001L.S-MP04
MASS PLANTING MIX 4
REFER TO DETAIL 3 | LD-5001L.S-MP05
WSUD MASS PLANTING
REFER TO DETAIL 1,2 | LD-5002

HARDWORKS

P.V-01
COLOURED CONCRETE
REFER TO DETAIL 6 | LD- 5002
BY CONCRETE COLOUR SYSTEMS TBC
COLOUR: CCS PEWTER
FINISH: TBCP.V-02
CONCRETE PAVEMENT
REFER CIVIL ENGINEER'S DETAILP.V-03
COURTYARD PAVING
REFER ARCHITECT'S DETAILL.E-SE
STEEL EDGING
REFER DETAIL 7 | LD- 5001STORMWATER PITS
REFER TO CIVIL ENGINEER'S DETAILS

FURNITURE

L.F-BOL
CARPARK BOLLARD - REMOVABLE
PRODUCT CODE: HIG150R B 7.11
FINISH: ELECTROSTATICALLY POWDER
COATED IN INDUSTRIAL YELLOW
SUPPLIER: LEDA SECURITY
REFER DETAIL 1 | LD- 5003L.F-BS
BENCH SEATING| WITH BACKREST
1800mmW x 530mmD x 820mmH
PRODUCT CODE: VERG.S.18.HW.U
COLOURS: TBA
HARDWOOD: OILED SPOTTED GUM
OR CLEAR OILED MIXED RED
FINISH: FRAME & POST: POWDER COATED TO
PALLADIUM SILVER POWDER
FIXING: FIXED SURFACE OR CORE HOLE
SLAT: HARDWOOD
SUPPLIER: BOTTON + GARDINER
REFER DETAIL 2,3 | LD- 5003STATUS
TENDER

0m 1 2 3 4 5

NORTH

SYDNEY
Level 5, 111-117 Devonshire St
Surry Hills NSW 2010
T +61 2 8396 9500
syd@modedesign.com.au

ABN: 65 112 807 931

CLIENT

Land and Housing
Corporation

PROJECT

BLACKTOWN SENIOR
HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE

LANDSCAPE PLAN

| | |
|--------------------------------|----------------------|
| DRAWN LZ | CHECKED TW |
| ISSUE 22/11/2023 3:21:00 PM | SCALE @ A1 1: 100 |
| PROJECT No 22032 | STAGE TD |
| DRAWING No LD- 1000 | REVISION I |

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- Verify all dimensions on site prior to commencement of work.
- DO NOT scale off these drawings.
- Report any discrepancies to the architect before carrying out any work.

AMENDMENTS

| REV | DESCRIPTION | AUTH | CHK | DATE |
|-----|--------------------------|------|-----|------------|
| A | 90% TENDER DOCUMENTATION | LZ | TW | 08.09.2023 |
| B | 90% TENDER DOCUMENTATION | LZ | TW | 03.11.2023 |
| C | 90% TENDER DOCUMENTATION | LZ | TW | 09.11.2023 |
| D | 90% TENDER DOCUMENTATION | LZ | TW | 22.11.2023 |

PLANTING SCHEDULE

| CODE | BOTANIC NAME | PLANT | COMMON NAME | HEIGHT (mm) | SPREAD(mm) | POT SIZE | No. |
|------------------------|--|-------|-------------------------------|-------------|------------|----------|-----|
| TREES | | | | | | | |
| BANint | BANKSIA integrifolia | | Coastal Banksia | 5000 | 2000 | 45Ltr | 20 |
| BRAsce | BRACHYCHITON acerifolius | | Illawarra Flame | 8000 | 7000 | 600Ltr | 2 |
| CALvim | CALLISTEMON viminalis 'Slim' | | Bottlebrush | 3000 | 1200 | 45Ltr | 16 |
| ELAum | ELAEAGARUS sumundi | | Eumundi Quandong | 7000 | 2000 | 200Ltr | 6 |
| GLOfer | GLOCHIDION ferridandi | | Chesee Tree | 7000 | 4000 | 200Ltr | 4 |
| LAGnat | LAGERSTROEMIA indica x fauriei 'Natchez' | | 'Natchez' Crepe Myrtle | 6000 | 4000 | 200Ltr | 2 |
| SYZaus | SYZYGium australe 'Straight & Narrow' | | Straight & Narrow Lilly Pilly | 8000 | 800 | 45Ltr | 9 |
| SHRUBS | | | | | | | |
| ALPae | ALPINIA caerulea | | Native Ginger | 2500 | 2000 | 200mm | 18 |
| CALvet | CALLISTEMON viminalis 'Better John' | | Weeping Bottlebrush | 1200 | 600 | 200mm | 16 |
| CORalb | CORREA alba | | Correa | 1500 | 1200 | 200mm | 58 |
| GREros | GREVILLEA rostrata | | Grevillea Crimson Villa | 1200 | 1000 | 200mm | 44 |
| PLEarg | PLECTRANTHUS argentatus | | Silver Spurflower | 1000 | 1200 | 200mm | 20 |
| WEShu | WESTRINGIA fruticosa 'smoke' | | Coastal Rosemary | 1500 | 1500 | 200mm | 9 |
| WESmun | WESTRINGIA fruticosa 'Mundi' | | Coastal Rosemary | 300 | 600 | 200mm | 129 |
| GROUNDCOVERS + GRASSES | | | | | | | |
| AJUaus | AJUGA australis | | Australian Bugle | 400 | 1000 | 140mm | 421 |
| CASou | CASUARINA glauca 'Cousin It' | | She-oak | 200 | 1000 | 140mm | 147 |
| DIAce | DIANELLA caerulea 'Blue Flax Lily' | | Blue Flax Lily | 1000 | 800 | 140mm | 84 |
| DIAit | DIANELLA caerulea 'Little Jess' | | Native Flax | 350 | 350 | 140mm | 421 |
| DICrep | DICHONDRA repens | | Kindley Weed | 350 | 350 | 140mm | 247 |
| LEPae | LEPTOSPERMUM laevigatum 'Shore Tuff' | | Coastal Tea Tree | 500 | 1000 | 200mm | 227 |
| LIBpan | LIBERTIA paniculata | | Grass Flag | 300 | 300 | 140mm | 484 |
| LOBpur | LOBELIA purpurascens | | White Rob | 500 | 400 | 140mm | 84 |
| LOMlys | LOMANDRA hyacin 'Tropic Belle' | | Mat Rush | 800 | 800 | 140mm | 383 |
| LOMon | LOMANDRA longifolia | | Mat Rush | 800 | 600 | 140mm | 84 |
| MICsti | MICROLAENA stipoides | | Microlaena | 250 | 200 | 140mm | 84 |
| RHAspi | RHAGODIA spinescens | | Aussie Flat Bush | 200 | 1000 | 140mm | 108 |
| TRAti | TRACHELOSPERMUM jasminoides | | Tricolour Star Jasmine | 300 | 600 | 140mm | 156 |
| VIOhed | VIOLA hederacea | | Native Violet | 100 | 400 | 140mm | 289 |

NOTE: ALL TREE SPECIES TO BE STAKED. REFER TO DETAIL 1 LD-5001

PANK PARADE



STATUS
TENDER

0m 1 2 3 4 5

NORTH

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CLIENT
Land and Housing Corporation

PROJECT
BLACKTOWN SENIOR HOUSING
52-56 Pank Parade, Blacktown
Lots 41, 42 & 43 DP32163

DRAWING TITLE
PLANTING PLAN

| | |
|--------------------------------|---------------------|
| DRAWN LZ | CHECKED TW |
| ISSUE 22/11/2023 3:27:38 PM | SCALE @ A1 1:100 |
| PROJECT No 22032 | STAGE TD |
| DRAWING No LD-1100 | REVISION D |

PROPOSED DEVELOPMENT AT 56 PANK PARADE, BLACKTOWN

GENERAL

- G1** These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions and sketches as may be issued during the course of the Contract. Any discrepancies shall be referred to the Superintendent before proceeding with any related works. Construction from these drawings, and their associated consultant's drawings is not to commence until approved by the Local Authorities.
- G2** All materials and workmanship shall be in accordance with the relevant and current Standards Australia codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification.
- G3** All set out dimensions shall be obtained from Architect's and Engineer's details. All discrepancies shall be referred to the Architect and Engineer for decision before proceeding with related work.
- G4** During construction the structure shall be maintained in a stable condition and no part shall be overstressed. Temporary bracing shall be provided by the builder/subcontractor to keep the works and excavations stable at all times.
- G5** Unless noted otherwise levels are in metres and dimensions are in millimetres.
- G6** The alignment and level of all services shown are approximate only. The contractor shall confirm the position and level of all services prior to commencement of construction. Any damage to services shall be rectified at the contractors expense.
- G7** Any substitution of materials shall be approved by the Engineer and included in any tender.
- G8** All services, or conduits for servicing shall be installed prior to commencement of pavement construction.
- G9** Subsoil drainage, comprising 100 agriculture pipe in geo-stocking to be placed as shown and as may be directed by the superintendent. Subsoil drainage shall be constructed in accordance with the relevant local authority construction specification.
- G10** The structural components detailed on these drawings have been designed in accordance with the relevant Standards Australia codes and Local Government Ordinances for the following loadings. Refer to the Architectural drawings for proposed floor usage. Refer to drawings for live loads and superimposed dead loads.

DRAINAGE NOTES

- D1** All drainage levels to be confirmed on site, prior to any construction commencing.
- D2** All pipes within the property to be a minimum of 100 dia upvc @ 1% minimum grade, uno.
- D3** All pits within the property are to be fitted with "weldiok" or approved equivalent grates:
- Light duty for landscaped areas
- Heavy duty where subjected to vehicular traffic
- D4** All pits within the property to be constructed as one of the following:
1) Precast stormwater pits
2) Cast in situ mass concrete
3) Cement rendered 230mm brickwork subject to the relevant local authority construction specification.
- D5** Ensure all grates to pits are set below finished surface level within the property. Top of pit RL's are approximate only and may be varied subject to approval of the engineer. All invert levels are to be achieved.
- D6** Any pipes beneath relevant local authority road to be rubber ring jointed RCP, uno.
- D7** All pits in roadways are to be fitted with heavy duty grates with locking bolts and continuous hinge.
- D8** Provide step irons to stormwater pits greater than 1200 in depth.
- D9** Trench back fill in roadways shall comprise sharp, clean granular back fill in accordance with the relevant local authority specification to non-trafficable areas to be compacted by rodding and tamping using a flat plate vibrator.
- D10** Where a high early discharge (hed) pit is provided all pipes are to be connected to the hed pit, uno.
- D11** Down pipes shall be a minimum of dn100 sw grade upvc or 100 x100 colorbond/zincalume steel, uno.
- D12** Colorbond or zincalume steel box gutters shall be a minimum of 450 wide x 150 deep.
- D13** Eaves gutters shall be a minimum of 125 wide x 100 deep (or of equivalent area) colorbond or zincalume steel, uno.
- D14** Subsoil drainage shall be provided to all retaining walls & embankments, with the lines feeding into the stormwater drainage system, uno.

EROSION AND SEDIMENT CONTROL NOTES

- E1** These notes are to be read in conjunction with erosion and sediment control details in this drawing set.
- E2** The contractor shall implement all soil erosion and sediment control measures as necessary and to the satisfaction of the relevant local authority prior to the commencement of and during construction. No disturbance to the site shall be permitted other than in the immediate area of the works and no material shall be removed from the site without the relevant local authority approval. All erosion and sediment control devices to be installed and maintained in accordance with standards outlined in nsw department of housing's "managing urban stormwater - soils and constructions".
- E3** Place straw bales length wise in a row as parallel as possible to the site contours, uno. Bale ends to be tightly butted. Bales are to be placed so that straws are parallel to the row. Bales are to be placed 1.5m to 2m downslope from the toe of the disturbed batter, uno.
- E4** Council approved filter fabric to be entrenched 150mm deep upslope towards disturbed surface. Fabric to be a minimum SF2000 or better. Fix fabric to posts with wire ties or as recommended with manufacturer's specifications. Fabric joints to have a minimum of 150mm overlap. Wire to be strung between posts with filter fabric overlap to prevent sagging.
- E5** Stabilised entry/exit points to remain intact until finished driveway is complete. Construction of entry/exit points to be maintained and repaired as required so that it's function is not compromised. Construction of entry/exit point to be in accordance with the detail contained within this drawing set.
- E6** All drainage pipe inlets to be capped until:
- downpipes connected
- pits constructed and protected with silt barrier
- E6** Provide and maintain silt traps around all surface inlet pits until catchment is revegetated or paved.
- E7** The contractor shall regularly maintain all erosion and sediment control devices and remove accumulated silt from such devices such that more than 60% of their capacity is lost. All the silt is to be placed outside the limit of works. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.
- E8** The contractor shall implement dust control by regularly wetting down (but not saturating) disturbed area.
- E9** Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil shall be respread later on areas to be revegetated and stabilised only. (i.e. all footpaths, batters, site regarding areas, basins and catchdrains). Topsoil shall not be respread on any other areas unless specifically instructed by the superintendent. If they are to remain for longer than one month stockpiles shall be protected from erosion by covering them with a mulch and hydroseeding and, if necessary, by locating banks or drains downstream of a stockpile to retard silt laden runoff.
- E10** Lay 300 wide minimum turf strip on 100 topsoil behind all kerb and gutter with 1000 long returns every 6000 and around structures immediately after backfilling as per the relevant local authority specification.
- E11** The contractor shall grass seed all disturbed areas with an approved mix as soon as practicable after completion of earthworks and regrading.
- E12** Revegetate all trenches immediately upon completion of backfilling.
- E13** When any devices are to be handed over to council they shall be in clean and stable condition.

STANDARD LINE TYPES AND SYMBOLS

| | |
|--|--------------------------------|
| | PROPOSED KERB & GUTTER |
| | EXISTING KERB & GUTTER |
| | PROPOSED BELOW GROUND PIPELINE |
| | PROPOSED SUSPENDED PIPELINE |
| | EXISTING PIPELINE |
| | SUBSOIL DRAINAGE LINE |
| | PROPOSED KERB INLET PIT |
| | EXISTING KERB INLET PIT |
| | PROPOSED JUNCTION OR INLET PIT |
| | EXISTING JUNCTION OR INLET PIT |
| | DESIGN CENTRELINE |
| | EXISTING EDGE OF BITUMEN |
| | TELECOMMUNICATION CONDUIT |
| | GAS MAIN |
| | WATER MAIN |
| | SEWER MAIN |
| | UNDERGROUND ELECTRICITY CABLES |
| | PERMANENT MARK & S.S.M. |
| | BENCHMARK, SURVEY STATION |

STANDARD LINE TYPES AND SYMBOLS

| | |
|--|---|
| | OVERLAND FLOW PATH |
| | GUTTER DRAINAGE DIRECTION |
| | DOWNSPIPE |
| | DOWNSPIPE WITH SIDE OVERFLOW |
| | PERVIOUS (GRASSED) AREAS |
| | EXISTING (PRE-DEVELOPMENT) RL |
| | POST DEVELOPMENT RL |
| | GRADED IMPERVIOUS AREA (ROOF, CONC SLABS ETC) |
| | SEDIMENT FENCE |
| | CROSSING PIPES |
| | NODE POINT |

LEGEND

| | | | |
|------|------------------------------|-----|------------------------|
| AHD | Australian height datum | SS | Stainless steel |
| AG | Ag pipe (Sub soil drainage) | SU | Box gutter sump |
| ARI | Average recurrence interval | TW | Top of wall |
| BG | Box Gutter | TWL | Top water level |
| BWL | Bottom water level | U/S | Underside of slab |
| CL | Cover level | VG | Vally gutter |
| CO | Clean out inspection opening | UNO | Unless noted otherwise |
| DCP | Discharge control pit | | |
| DP | Down pipe | | |
| DRP | Dropper pipe | | |
| EBG | Existing box gutter | | |
| EDP | Existing down pipe | | |
| EEG | Existing eaves gutter | | |
| EG | Eaves gutter | | |
| FRC | Fiber reinforced concrete | | |
| FW | Floor waste | | |
| GD | Grated drain | | |
| GSDP | Grated surface inlet pit | | |
| HED | High early discharge | | |
| HP | High point of gutter | | |
| IL | Invert level | | |
| IO | Inspection opening | | |
| O/F | Overflow | | |
| OSD | On-site detention | | |
| PSD | Permissible site discharge | | |
| P1 | Pipe 1 | | |
| RCP | Reinforced concrete pipe | | |
| RHS | Rectangular hollow section | | |
| RL | Reduced level | | |
| RRJ | Rubber ring joint | | |
| RRT | Rainwater re-use tank | | |
| RWH | Rain water head | | |
| RWO | Rain water outlet | | |
| SLAP | Sealed lid access pit | | |
| SP | Spreader pipe | | |
| SPR | Spreader | | |

RECOMMENDED MAINTENANCE SCHEDULE

| DISCHARGE CONTROL PIT (DCP) | FREQUENCY | RESPONSIBILITY | PROCEDURE |
|---|-------------|------------------------|---|
| Inspect flap valve and remove any blockage. | Six monthly | Owner | Remove grate. Ensure flap valve moves freely and remove any blockages or debris. |
| Inspect screen and clean. | Six monthly | Owner | Remove grate and screen if required and clean it. |
| Inspect & remove any blockage of orifice. | Six monthly | Owner | Remove grate & screen to inspect orifice. see plan for location of dcp. |
| Inspect dcp sump & remove any sediment-sludge. | Six monthly | Owner | Remove grate and screen. Remove sediment/sludge build-up and check orifice and flap valve clear. |
| Inspect grate for damage or blockage. | Six monthly | Owner | Check both sides of grate for corrosion, (especially corners and welds) damage or blockage. |
| Inspect return pipe from storage and return any blockages. | Six monthly | Owner | Remove grate and screen. ventilate underground storage if present. open flap valve and remove any blockages in return line. Check for sludge/debris on upstream side of return line. |
| Inspect outlet pipe and remove any blockage. | Six monthly | Maintenance Contractor | Remove grate and screen. ventilate underground storage if present. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line. |
| Check fixing of step irons is secure. | Six monthly | Maintenance Contractor | Remove grate and ensure fixings secure prior to placing weight on step iron. |
| Inspect overflow weir & remove any blockage. | Six monthly | Maintenance Contractor | Remove grate and open cover to ventilate underground storage if present. ensure weir clear of blockages. |
| Empty basket at overflow weir (if present). | Six monthly | Maintenance Contractor | Remove grate and ventilate underground storage chamber if present. Empty basket, check fixings secure and not corroded. |
| Check attachment of orifice plate to wall of pit (gaps less than 5 mm). | Annually | Maintenance Contractor | Remove grate and screen. ensure plate mounted securely, tighten fixings if required. seal gaps as required. |
| Check attachment of screen to wall of pit. | Annually | Maintenance Contractor | Remove grate and screen. ensure screen fixings secure. repair as required. |
| Check screen for corrosion. | Annually | Maintenance Contractor | Remove grate and examine screen for rust or corrosion, especially at corners or welds. |
| Check attachment of flap valve to wall of . | Annually | Maintenance Contractor | Remove grate. Ensure fixings of valve are secure. |
| Check flap valve seals against wall of pit. | Annually | Maintenance Contractor | Remove grate. fill pit with water and check that flap seals against side of pit with minimal leakage. |
| Check any hinges of flap valve move freely. | Annually | Maintenance Contractor | Remove grate. Test valve hinge by moving flap to full extent. |
| Inspect dcp walls (internal and external, if appropriate) for cracks or spalling. | Annually | Maintenance Contractor | Remove grate to inspect internal walls. Repair as required. Clear vegetation from external walls if necessary and repair as required. |
| Check step irons for corrosion. | Annually | Maintenance Contractor | Remove grate. Examine step irons and repair any corrosion or damage. |
| Check orifice diameter correct and retains sharp edge. | Five yearly | Maintenance Contractor | Compare diameter to design (see work-as- executed) and ensure edge is not pitted or damaged. |
| STORAGE | | | |
| Inspect & remove any blockage of orifice. | Six monthly | Owner | Remove grate and screen. remove sediment/sludge build-up. |
| Check orifice diameter correct and retains sharp edge. | Six monthly | Owner | Remove blockages from grate and check if pit blocked. |
| Inspect screen and clean. | Six monthly | Owner | Remove debris and floatable material likely to be carried to grates. |
| Check attachment of orifice plate to wall of pit (gaps less than 5 mm). | Annually | Maintenance | Remove grate to inspect internal walls. repair as required. clear vegetation from external walls if necessary and repair as required. |
| Check attachment of screen to wall of pit. | Five yearly | Maintenance Contractor | Compare actual storage available with work-as executed plans. If volume loss is greater than 5%, arrange for reconstruction to replace the volume lost. Council to be notified of the proposal. |
| Check attachment of screen to wall of pit. | Five yearly | Maintenance Contractor | Check along drainage lines and at pits for subsidence likely to indicate leakages. |

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

| REV | DATE | DESCRIPTION | BY |
|-----|----------|--------------------------|------|
| P3 | 11.11.22 | ISSUED FOR CO-ORDINATION | O.G. |
| P2 | 09.11.22 | ISSUED FOR CO-ORDINATION | O.G. |
| P1 | 11.10.22 | ISSUED FOR REVIEW | O.G. |

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NORWEST NSW 2153

PROPOSED DEVELOPMENT AT 56 PANK PARADE, BLACKTOWN FOR MODE DESIGN

GENERAL NOTES

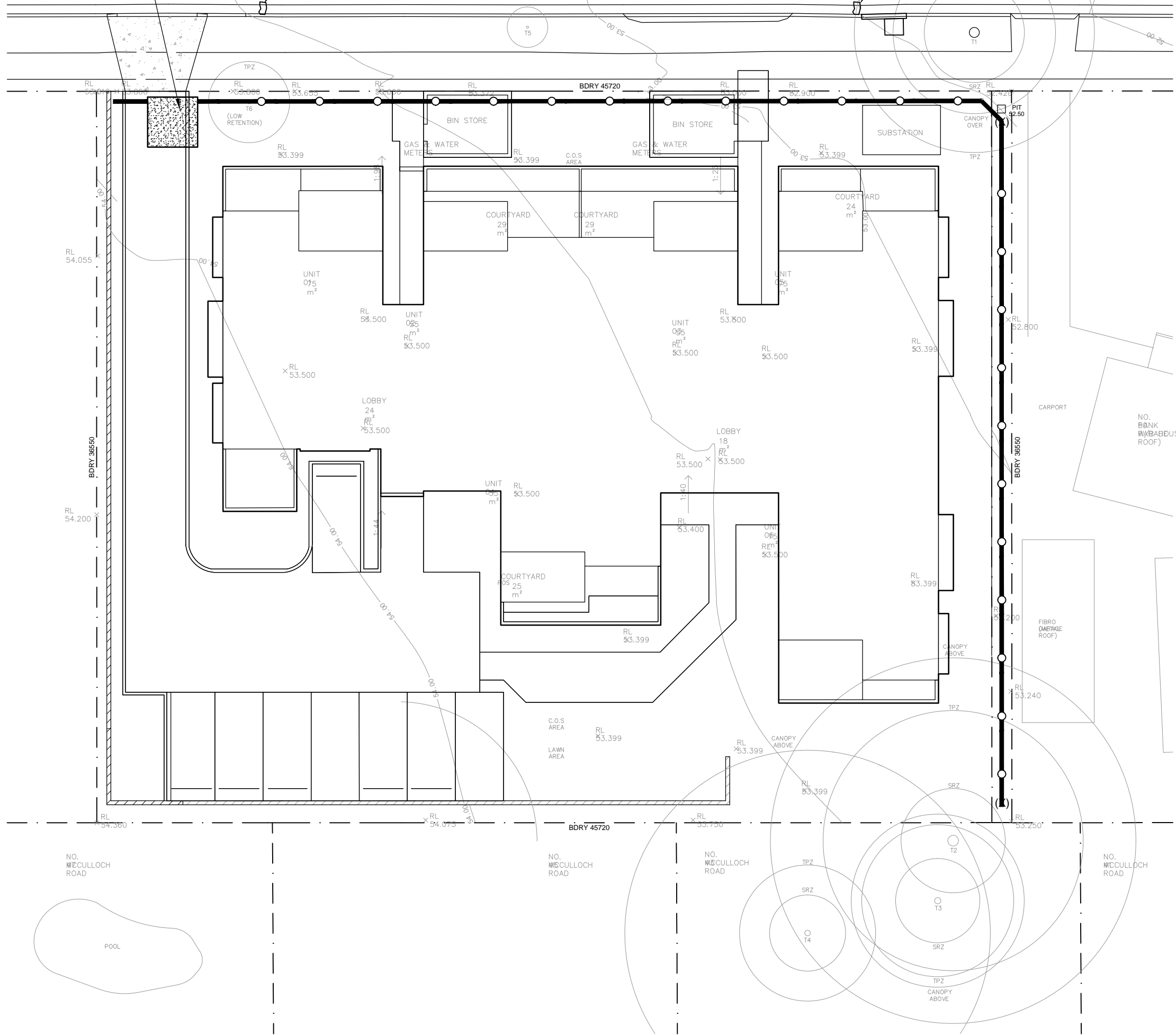
| | | |
|-----------------------|-------------------------|----------------------|
| JOB NUMBER: 220109 | DWG NUMBER: C10.01 | ORIGINAL SIZE: A1 |
| DESIGNED BY: O.G. | DATE: SEPTEMBER 2022 | |
| DRAWN BY: O.G. | SCALE: SCALE | |

Chish

CONSTRUCT STABILISED
TEMPORARY ENTRY/EXIT
REFER TO DETAILS.

SANDBAG IN GUTTER IN
ACCORDANCE WITH NOTES

SANDBAG IN GUTTER IN
ACCORDANCE WITH NOTES



SEDIMENT & EROSION CONTROL PLAN
1:200

—○— DENOTES SEDIMENT FENCE

COMMENCEMENT OF WORKS

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCLOSED UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

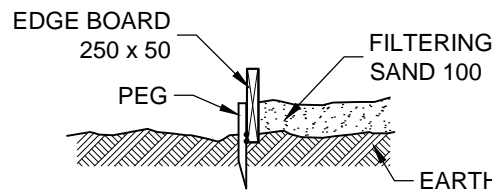
SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED) PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SEDIMENT TRAP

1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

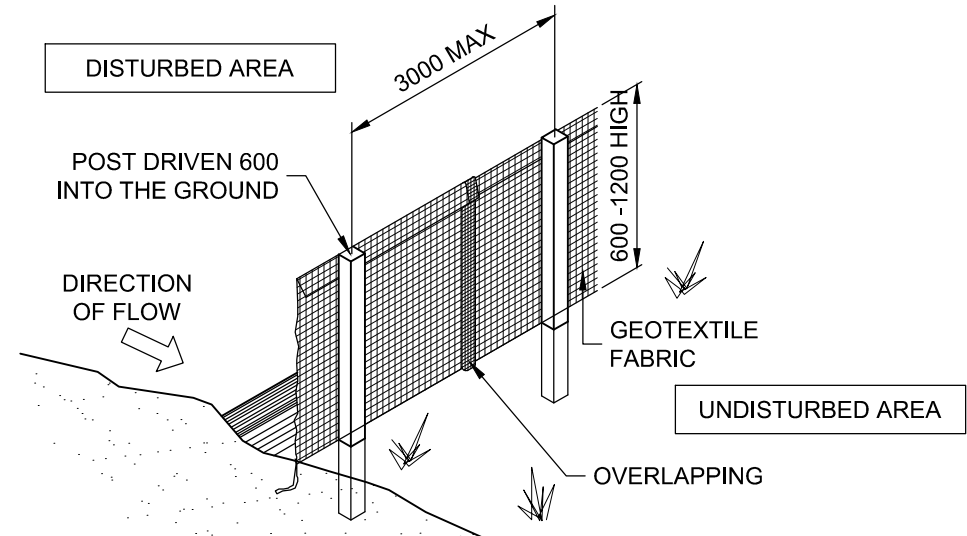
WASHOUT AREA TO BE 1800 x 1800 ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.



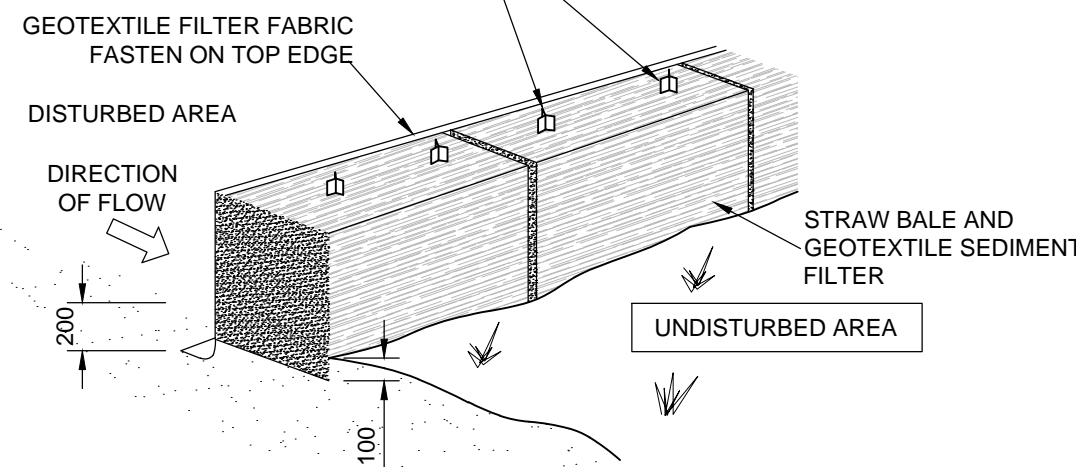
SEDIMENT FENCE

PROVIDE 'SEDIMENT FENCE' ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN.

FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.



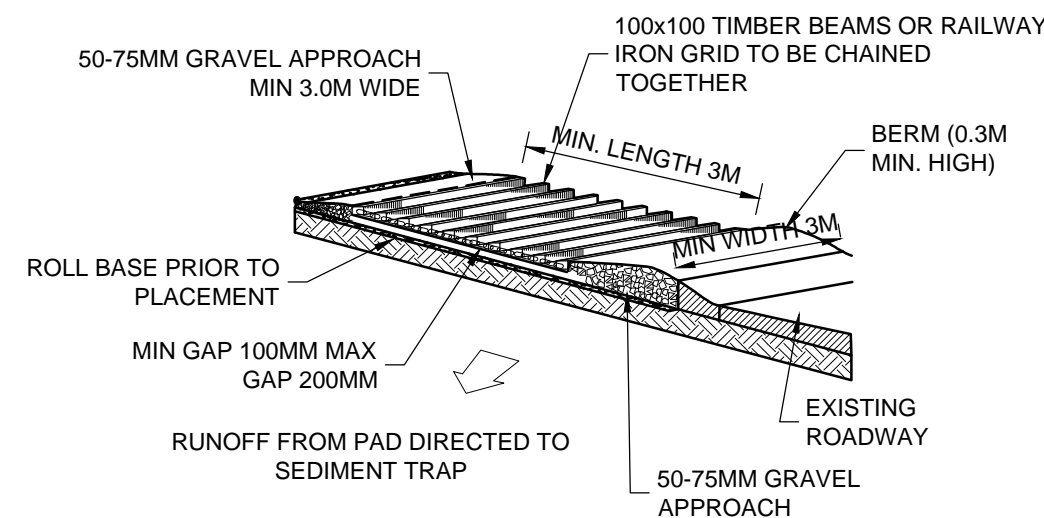
STAKES DRIVEN 600 INTO GROUND
WITH FIRST STAKE ANGLED TOWARDS
PREVIOUSLY LAID BALE



DRAINAGE AREA 0.5 HA. MAX. SLOPE
GRADIENT 1:2 MAX. SLOPE LENGTH 50m.

TEMPORARY CONSTRUCTION ENTRY/EXIT

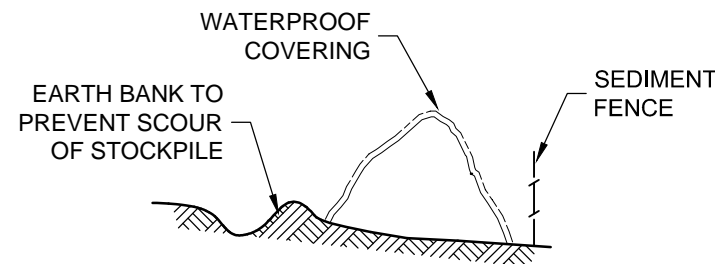
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



BUILDING MATERIAL STOCKPILE

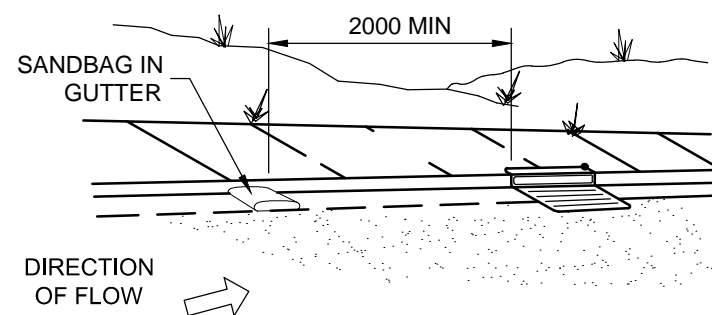
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



SANDBAG KERB SEDIMENT TRAP

IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



GENERAL NOTES

20 December 2023

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE). NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 "STORMWATER DRAINAGE" & AS/NZS 3500.3.2-1998 "STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS".

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE uPVC OR 100 X 100 COLORBOND OR ZINCALUME STEEL, UNO.

BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

SOIL CONSERVATION NOTE

PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

| REV | DATE | DESCRIPTION | BY |
|-----|----------|--------------------------|------|
| P3 | 11.11.22 | ISSUED FOR CO-ORDINATION | O.G. |
| P2 | 09.11.22 | ISSUED FOR CO-ORDINATION | O.G. |
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PO Box 7191
NORWEST NSW 2153

**PROPOSED DEVELOPMENT
AT 56 PANK PARADE, BLACKTOWN
FOR MODE DESIGN**

SEDIMENT & EROSION CONTROL PLAN

| | | |
|-----------------------|-------------------------|----------------------|
| JOB NUMBER: 220109 | DWG NUMBER: C11.01 | ORIGINAL SIZE: A1 |
| DESIGNED BY: O.G. | DATE: SEPTEMBER 2022 | |
| DRAWN BY: O.G. | SCALE: 1:200 U.N.O. | |

STORMWATER DESIGN SUMMARY

| | |
|---------------------------------|-----------------------|
| COUNCIL: BLACKTOWN CITY COUNCIL | |
| 100 YEAR, 5 MIN STORM | = 225 mm/h |
| 20 YEAR, 5 MIN STORM | = 172 mm/h |
| TOTAL SITE AREA | = 1670 m ² |
| PROPOSED BUILDING FOOTPRINT | = 700 m ² |
| IMPERVIOUS PATHS & DRIVEWAYS | = 412 m ² |
| TOTAL IMPERVIOUS SITE AREA | = 1112 m ² |
| IMPERVIOUS SITE PERCENTAGE | = 67% |

100% PROPOSED ROOF AREA DIRECTED TO 7,000 LITRE RAINWATER RE-USE TANK TO BUILDERS DETAILS IN ACCORDANCE WITH BASIX SPECIFICATIONS. HIGH LEVEL OVERFLOW DIRECTED TO PROPOSED BELOW GROUND ON-SITE DETENTION (OSD) TANK. OSD DISCHARGE DIRECTED TO STREET KERB INLET PIT VIA GRAVITY IN ACCORDANCE WITH COUNCIL STORMWATER SPECIFICATIONS.

WATER SENSITIVE URBAN DESIGN SUMMARY
SITE LOCATED WITHIN SECTION 7.11 CONTRIBUTIONS PLAN No.19 - BLACKTOWN GROWTH PRECINCT AREA THEREFORE NO WATER CONSERVATION & QUALITY CONTROLS REQUIRED SUBJECT TO VOLUNTARY CONTRIBUTION IN ACCORDANCE WITH BLACKTOWN COUNCIL CODE.

ON-SITE DETENTION DESIGN SUMMARY

CATCHMENT: HAWKESBURY RIVER SUBCATCHMENT AREA 4
ON-SITE DETENTION REQUIRED FOR PROPOSED COMMERCIAL DEVELOPMENTS WITH A SITE AREA GREATER THAN 500m² IN ACCORDANCE WITH 'BLACKTOWN COUNCIL ENGINEERING GUIDE FOR DEVELOPMENT SECTION A.2'.

| | |
|--|-------------------------|
| PERCENTAGE OF TOTAL SITE DRAINED | = 85% |
| DETERMINED SITE STORAGE REQUIREMENT 50% | = 50.1 m ³ |
| DETERMINED SITE STORAGE REQUIREMENT 100% | = 75.985 m ³ |

| | |
|---------------------------------------|------------|
| DETERMINED PERMISSIBLE SITE DISCHARGE | = 24.1 l/s |
| MAXIMUM HEAD TO ORIFICE CENTRE LINE | = 1.10 m |
| DETERMINED 100 YEAR ORIFICE DIAMETER | = 105 mm |
| DETERMINED 1.5 YEAR ORIFICE DIAMETER | = 57.0 mm |

| | |
|------------------------------|-----------------------|
| STORAGE PROVIDED IN OSD TANK | = 76.3 m ³ |
|------------------------------|-----------------------|

STORMWATER DRAINAGE NOTES

- ALL DRAINAGE LINES SHALL BE uPVC (CLASS SH) STORMWATER DRAINAGE PIPE, U.N.O.
- ALL DRAINAGE LINES SHALL BE LAID @ 1% FALL MIN, U.N.O.
- FIRST FLUSH RAINWATER DEVICES TO BE FITTED TO DRAINAGE LINES TO BUILDER'S DETAIL, TYPICAL

LEGEND

- DOWNPIPE BY OTHERS
- INSPECTION POINT
- FIRST FLUSH RAINWATER DEVICE TO BUILDERS DETAIL
- PROPOSED FINISHED SURFACE LEVEL
- CHARGED PIPE
- PROPOSED BELOW GROUND PIPELINE
- SUBSOIL DRAINAGE LINE
- PROPOSED SURFACE INLET PIT
- OVERLAND FLOW PATH

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

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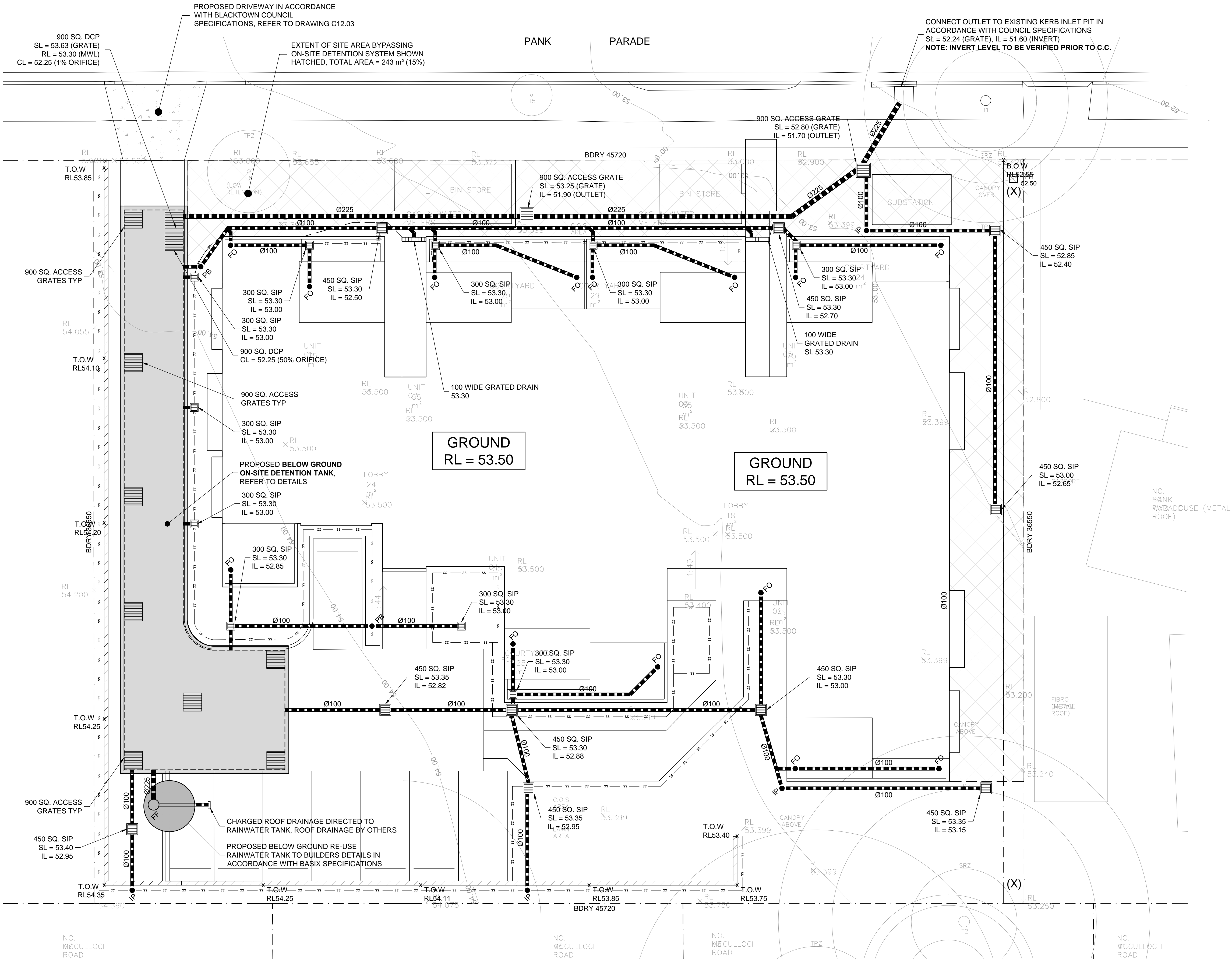


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PROPOSED DEVELOPMENT
AT 56 PANK PARADE, BLACKTOWN
FOR MODE DESIGN

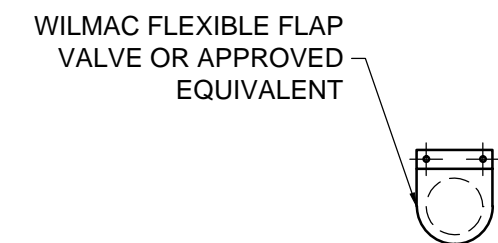
STORMWATER DRAINAGE PLAN

| | | |
|----------------------|-------------------------|----------------|
| JOB NUMBER: | DWG NUMBER: | ORIGINAL SIZE: |
| 220109 | C12.01 | A1 |
| DESIGNED BY: O.G. | DATE: SEPTEMBER 2022 | |
| DRAWN BY: O.G. | SCALE: 1:200 U.N.O. | |

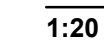
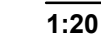
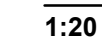


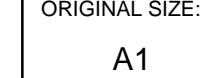
STORMWATER DRAINAGE PLAN

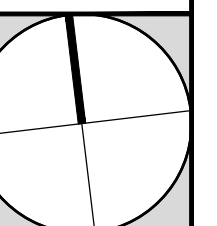
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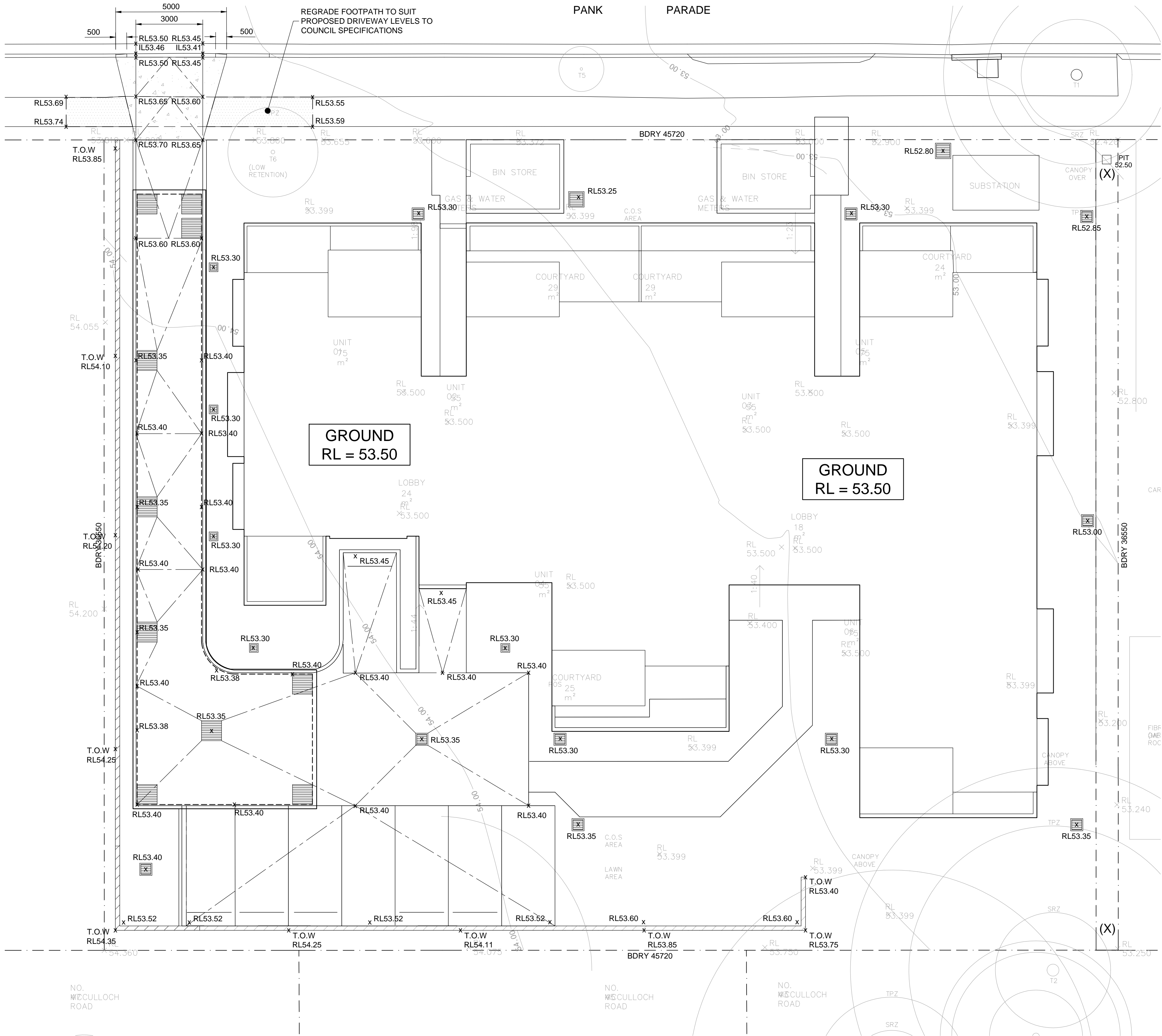


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| DESIGNED BY: O.G. | DATE: SEPTEMBER 2022 |  |
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PROPOSED DESIGN LEVELS
1:100

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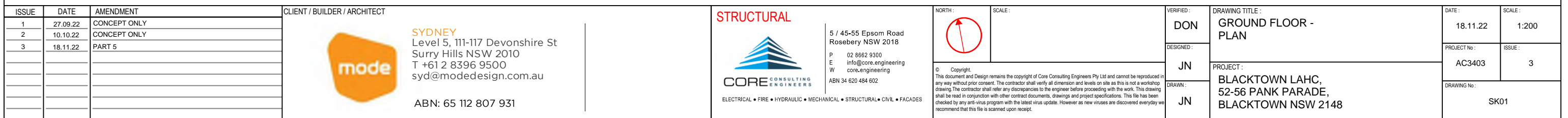
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PROPOSED DEVELOPMENT
AT 56 PANK PARADE, BLACKTOWN
FOR MODE DESIGN

PROPOSED DESIGN LEVELS

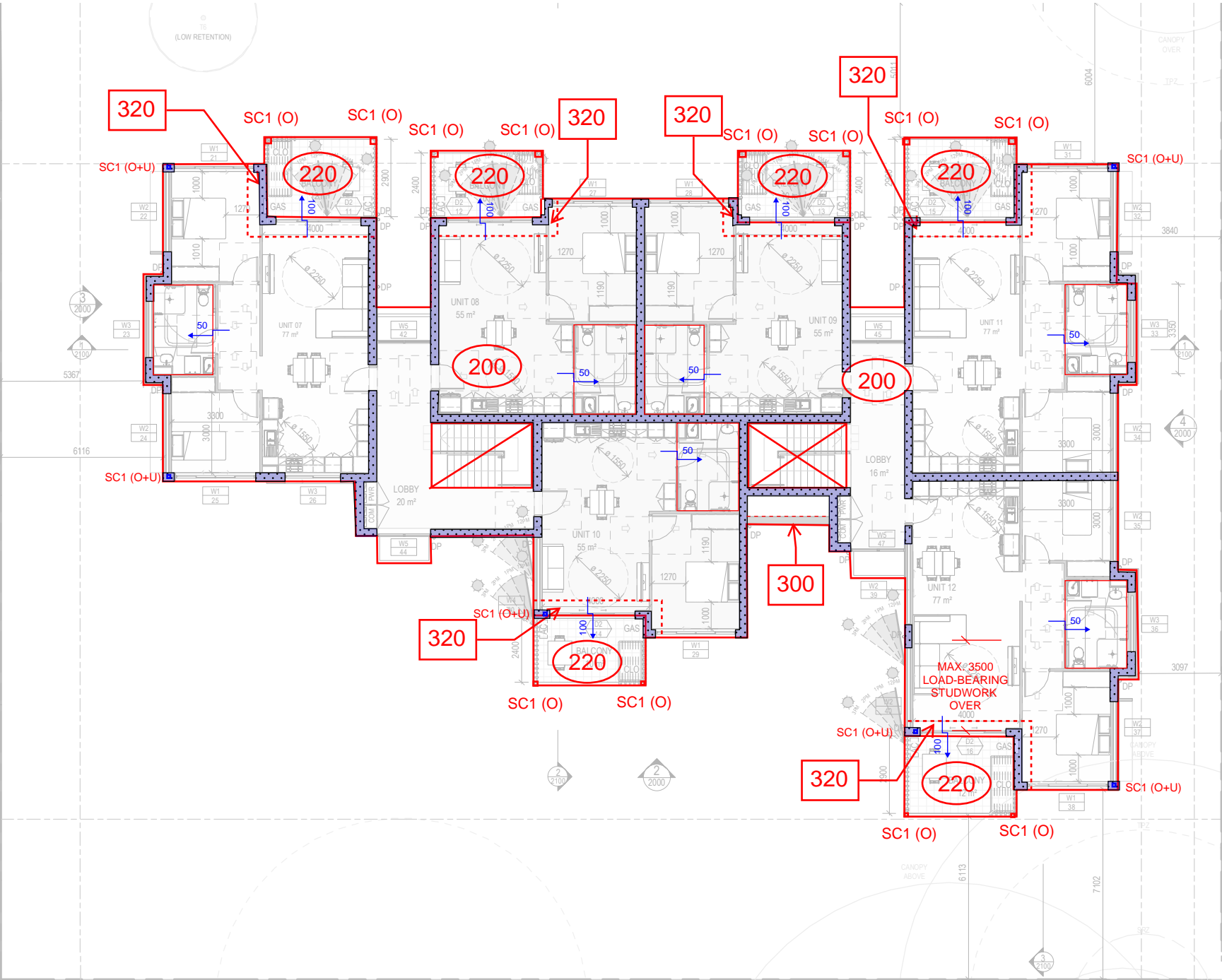
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| JOB NUMBER: 220109 | DWG NUMBER: C12.03 | ORIGINAL SIZE: A1 |
| DESIGNED BY: O.G. | DATE: SEPTEMBER 2022 | |
| DRAWN BY: O.G. | SCALE: 1:200 U.N.O. | |

20 December 2023



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20 December 2023






- NOTES**
- * 200 THICK SLAB 32 MPa
N12-200 CTS T&B + ADDITIONAL TOP OVER INTERNAL WALLS
 - * ALL LOAD-BEARING WALLS TO BE EITHER SINGLE SKIN MASONRY OR DOUBLE BRICK WITH A 50mm CAVITY (U.N.O)
 - * 90mm THICK LOAD-BEARING STUDWORK
 - * 50mm SETDOWN FOR ALL INTERNAL WET AREAS

| MEMBER SCHEDULE | |
|-----------------|---------------------------|
| SC1 - | 89 x 89 SHS STEEL COLUMN |
| | LOAD BEARING MEMBER OVER |
| | LOAD BEARING MEMBER UNDER |

PART 5

| ISSUE | DATE | AMENDMENT | CLIENT / BUILDER / ARCHITECT | STRUCTURAL | NORTH | SCALE | VERIFIED | DRAWING TITLE | DATE | SCALE |
|-------|----------|--------------|---|---|-------|-------|----------|--------------------|---|--------|
| 1 | 27.09.22 | CONCEPT ONLY | SYDNEY Level 5, 111-117 Devonshire St Surry Hills NSW 2010 T +61 2 8396 9500 syd@modedesign.com.au ABN: 65 112 807 931 | 5 / 45-55 Epsom Road Rosebery NSW 2018 P 02 8662 9300 E info@core.engineering W core.engineering ABN 34 620 484 602 ELECTRICAL • FIRE • HYDRAULIC • MECHANICAL • STRUCTURAL • CIVIL • FACADES | | | DON | FIRST FLOOR - PLAN | 18.10.22 | 1:200 |
| 2 | 10.10.22 | CONCEPT ONLY | | | | | | | PROJECT No: | ISSUE: |
| 3 | 18.11.22 | PART 5 | | | | | | | AC3403 | 3 |
| | | | | | | | JN | PROJECT: | BLACKTOWN LAHC, 52-56 PANK PARADE, BLACKTOWN NSW 2148 | |
| | | | | | | | JN | DRAWING No: | | |
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| ISSUE | DATE | AMENDMENT |  <p>SYDNEY Level 5, 111-117 Devonshire St Surry Hills NSW 2010 T +61 2 8396 9500 syd@modedesign.com.au</p> <p>ABN: 65 112 807 931</p> | <p>STRUCTURAL</p>  <p>5 / 45-55 Epsom Road Rosebery NSW 2018</p> <p>P 02 8662 9300 E info@core.engineering W core.engineering ABN 34 620 484 602</p> <p>ELECTRICAL • FIRE • HYDRAULIC • MECHANICAL • STRUCTURAL • CIVIL • FACADES</p> | <p>NORTH : </p> <p>SCALE :</p> <p>© Copyright. This document and Design remains the copyright of Core Consulting Engineers Pty Ltd and cannot be reproduced in any way without prior consent. The contractor shall verify all dimension and levels on site as this is not a workshop drawing. The contractor shall refer any discrepancies to the engineer before proceeding with the work. This drawing shall be read in conjunction with other contract documents, drawings and project specifications. This file has been checked by any anti-virus program with the latest virus update. However as new viruses are discovered everyday we recommend that this file is scanned upon receipt.</p> | VERIFIED : | DRAWING TITLE : | DATE : | SCALE : |
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| 3 | 18.11.22 | PART 5 | | | | JN | | AC3403 | 3 |
| | | | | | | DRAWN : | | DRAWING No : | |
| | | | | | | JN | | | |
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